

REVISION			
No	DATE	DESCRIPTION	BY/CHECK
A	07.02.17	DEVELOPMENT APPLICATION	mb mb

NOTE:

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DEVELOPMENT APPLICATION



PO BOX 147, LAUNCESTON, TASMANIA 7250 Ph: 0417541646

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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
COVER SHEET

DRAWN: MB
CHECKED: MB
SCALE: NTS @ A3
DATE: OCTOBER 2016
PROJECT NO. 1625
DRAWING NO. A-DA-01 A

DEVELOPMENT APPLICATION FOR PROPOSED TOWN HOUSES (21 ANN STREET) EAST LAUNCESTON, TASMANIA

DRAWING No.	DRAWING TITLE
A-DA-01	Cover Sheet
A-DA-02	Site Survey
A-DA-03	Site Plan
A-DA-04	Town House 1 - Level 1 Plan
A-DA-05	Town House 1 - Level 2 Plan
A-DA-06	Town House 1 - Roof Plan
A-DA-07	Town House 1 - Northern and Eastern Elevations
A-DA-08	Town House 1 - Southern and Western Elevations
A-DA-09	Town House 2 - Level 1 Plan
A-DA-10	Town House 2 - Level 2 Plan
A-DA-11	Town House 2 - Roof Plan
A-DA-12	Town House 2 - Northern and Eastern Elevations
A-DA-13	Town House 2 - Southern and Western Elevations
A-DA-14	Town House 1 - Private Open Space Diagram
A-DA-15	Town House 2 - Private Open Space Diagram
A-DA-16	Town House 1 - Turning Circle Diagram (B99)
A-DA-17	Town House 2 - Turning Circle Diagram (B99)
A-DA-18	Future Strata Title Plan
A-DA-19	Landscape Plan
A-DA-20	Front Fence Details
A-DA-21	Shadow Diagram Sheet 1 - 7:38AM Sunrise-8AM
A-DA-22	Shadow Diagram Sheet 2 - 9AM-10AM
A-DA-23	Shadow Diagram Sheet 3 - 11AM-12AM
A-DA-24	Shadow Diagram Sheet 4 - 1PM-2PM
A-DA-25	Shadow Diagram Sheet 5 - 3PM-4PM
A-DA-26	Shadow Diagram Sheet 6 - 4:48 PM Sunset

TOWN HOUSE 1 - LEVEL 1 AREA	- 66M2 = 7SQ FLOOR AREA
TOWN HOUSE 1 - LEVEL 2 AREA	- 143M2 = 15SQ FLOOR AREA
TOWN HOUSE 1 - TERRACE AREA	- 23M2 = 3SQ FLOOR AREA
SUB TOTAL AREA - 232M2 = 25SQ FLOOR AREA	

TOWN HOUSE 2 - LEVEL 1 AREA	- 65M2 = 7SQ FLOOR AREA
TOWN HOUSE 2 - LEVEL 2 AREA	- 108M2 = 11.5SQ FLOOR AREA
TOWN HOUSE 2 - DECK AREA	- 12M2 = 1.5SQ FLOOR AREA
SUB TOTAL AREA - 185M2 = 20SQ FLOOR AREA	

TOTAL AREA - 417M2 = 45SQ FLOOR AREA

SITE AREA - 626M2

SITE COVER - 45%

PERVIOUS TO RAINFALL - 32%





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DEVELOPMENT APPLICATION

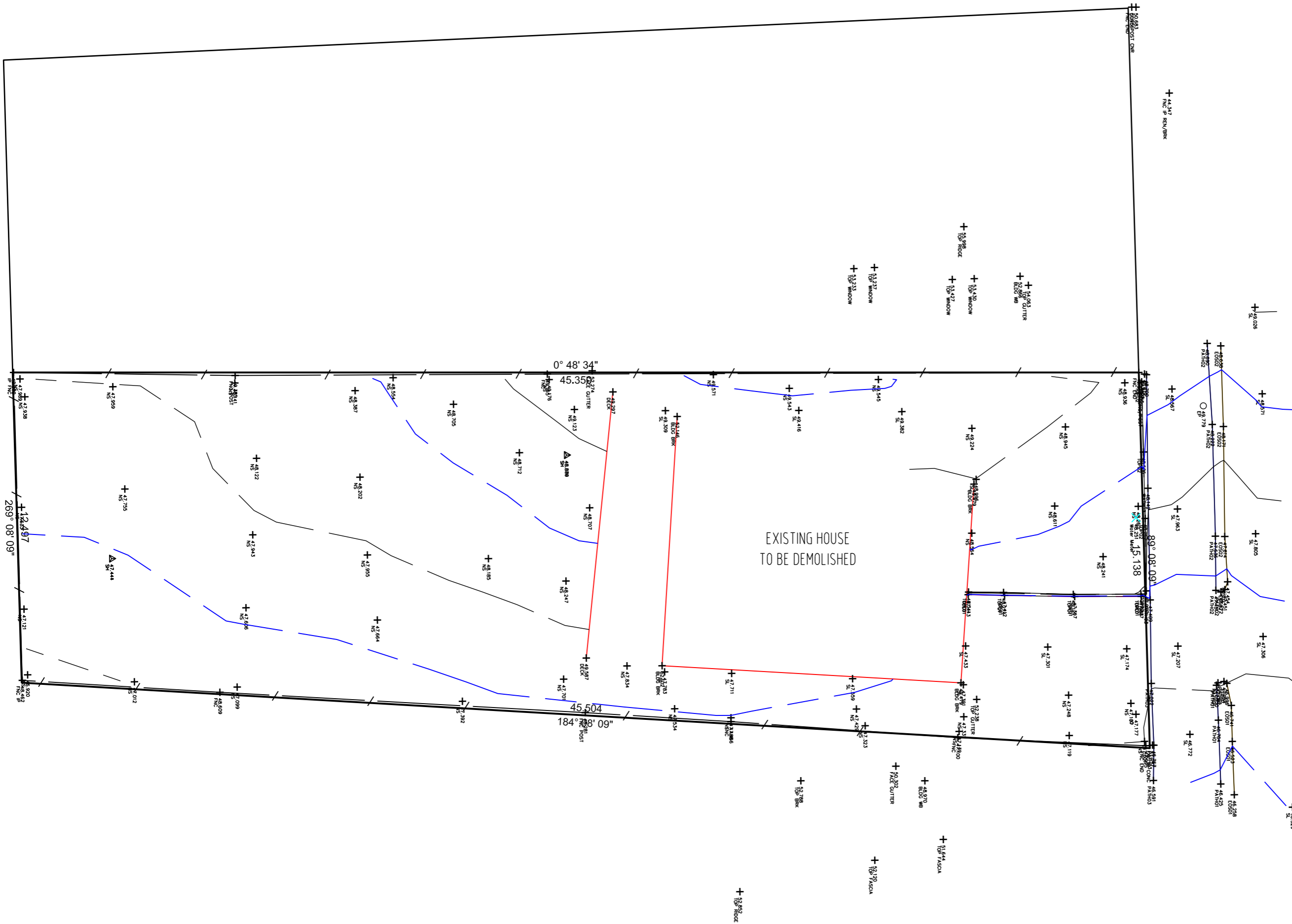


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PROJECT NAME:
 PRIVATE TOWN HOUSES
 21 ANN STREET
 EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
 SITE SURVEY

DRAWN:	MB
CHECKED:	MB
SCALE:	1:150 @ A3
DATE:	OCTOBER_2016
PROJECT NO.	1625
DRAWING NO.	A-DA-02





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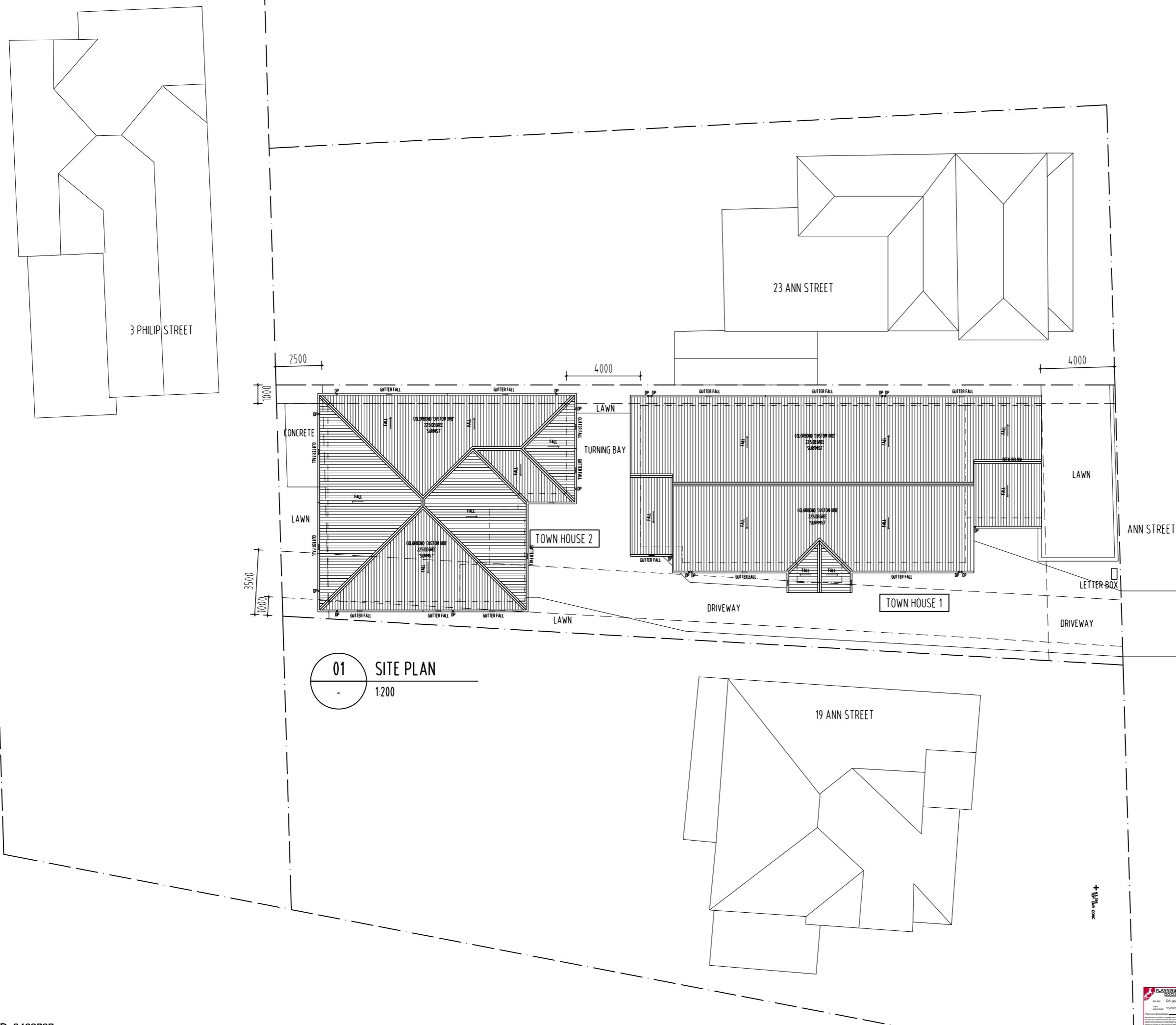
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
SITE PLAN

DRAWN: MB
CHECKED: MB

SCALE: 1:200 @ A3
DATE: OCTOBER_2016
PROJECT NO. 1625
DRAWING NO. A-DA-03 A



01 SITE PLAN
1:200





REVISION		
No	DATE	DESCRIPTION
A	07.02.17	DEVELOPMENT APPLICATION
		BYCHECK
		mb mb

NOTE:

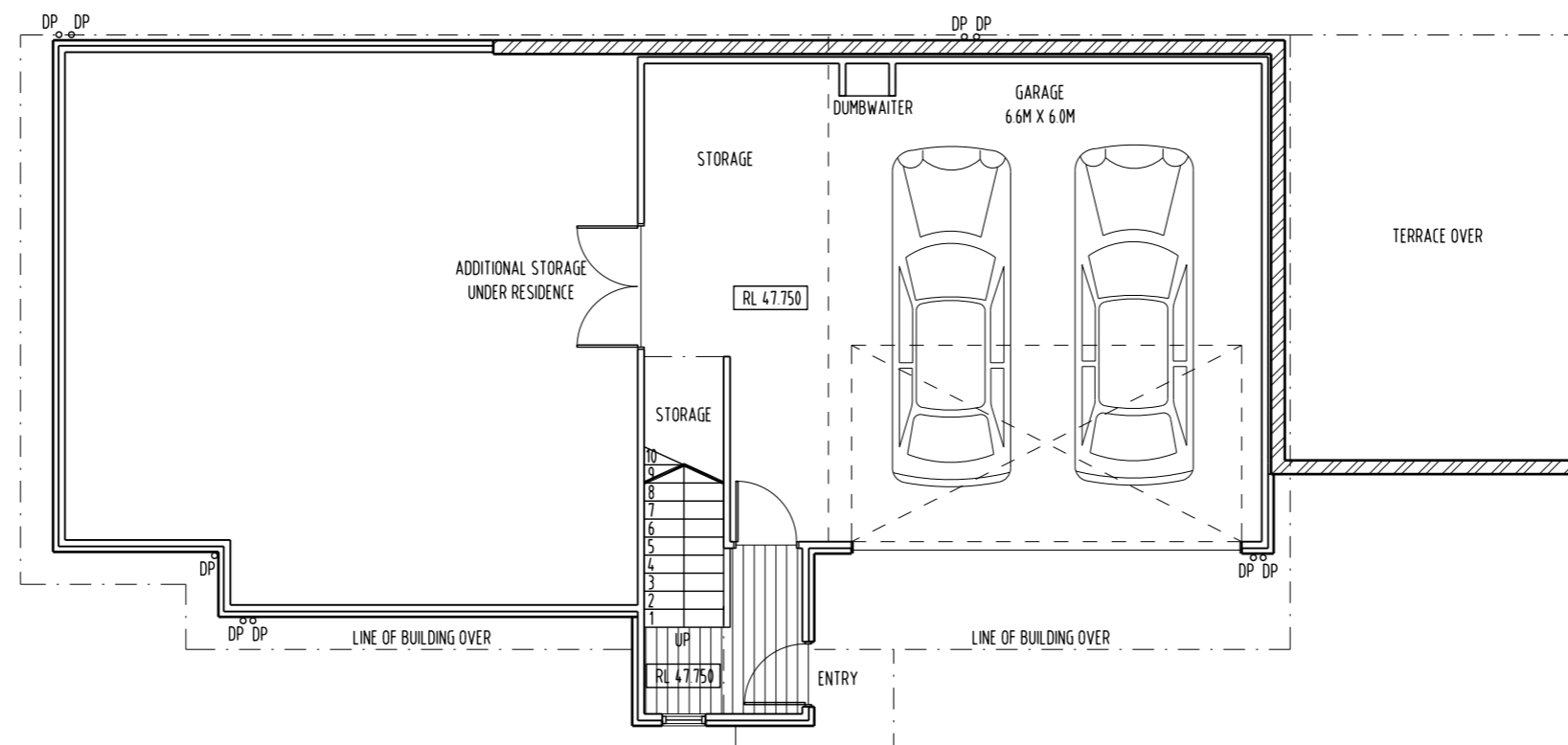
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01 TOWNHOUSE 1 - LEVEL 1 PLAN
- 1:100

DEVELOPMENT APPLICATION



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TASMANIA 7250 Ph: 0417541646

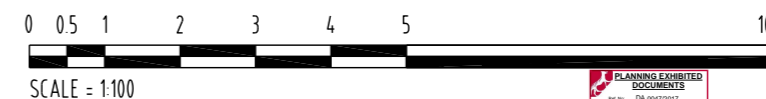
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 1
LEVEL 1 PLAN

DRAWN: MB
CHECKED: MB
SCALE: 1:100 @ A3
DATE: OCTOBER 2016
PROJECT NO. 1625
DRAWING NO. A-DA-04 A





REVISION	No	DATE	DESCRIPTION	BY/CHECK
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NOTE:

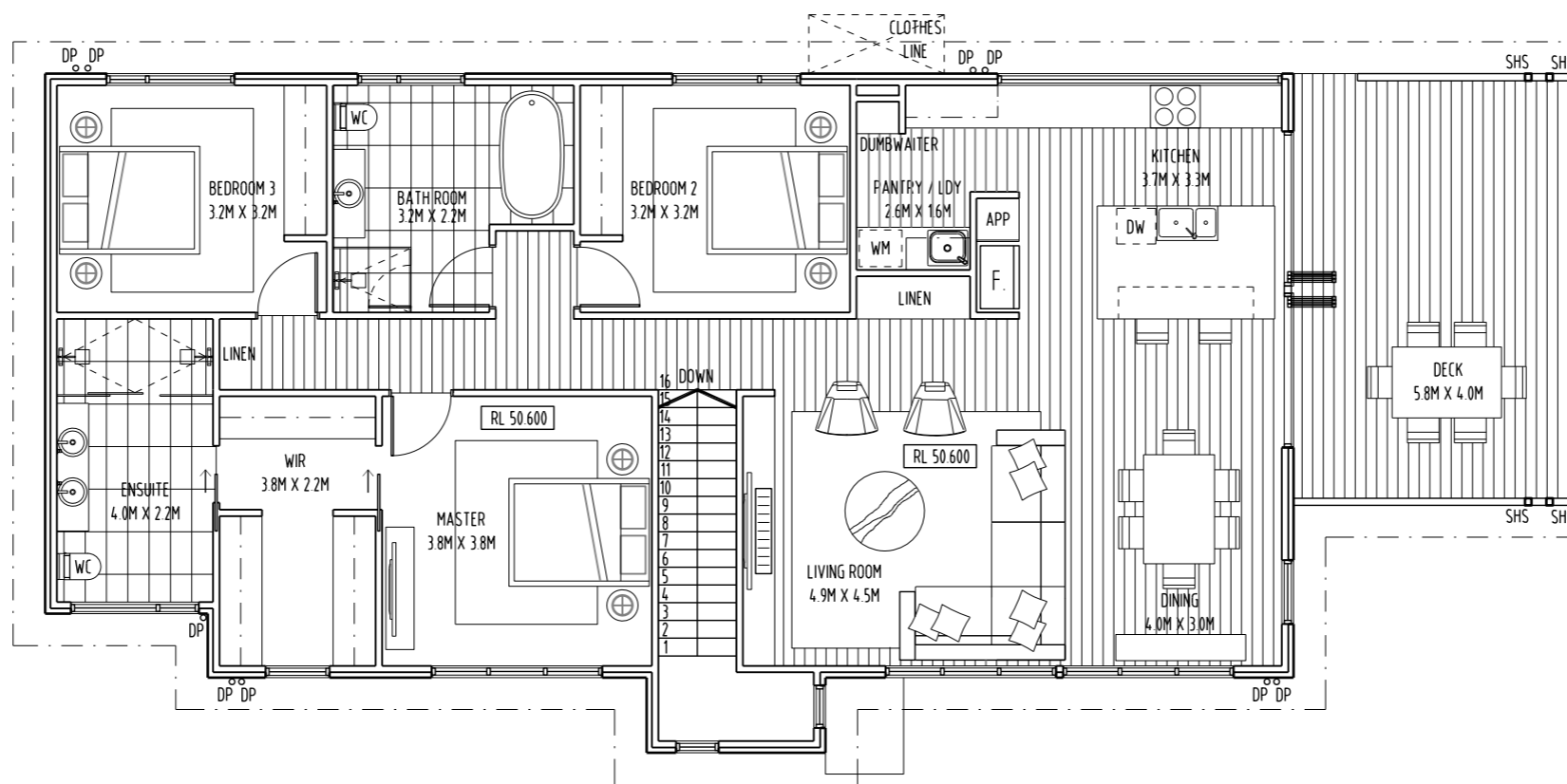
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DEVELOPMENT APPLICATION



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PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

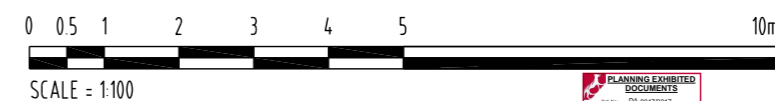
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TOWN HOUSE 1
LEVEL 2 PLAN

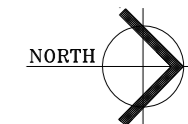
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CHECKED: MB

SCALE: 1:100 @ A3
DATE: OCTOBER 2016

PROJECT NO. 1625
DRAWING NO. A-DA-05 A

01 TOWNHOUSE 1 - LEVEL 2 PLAN
- 1:100





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A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 1
ROOF PLAN

DRAWN: MB

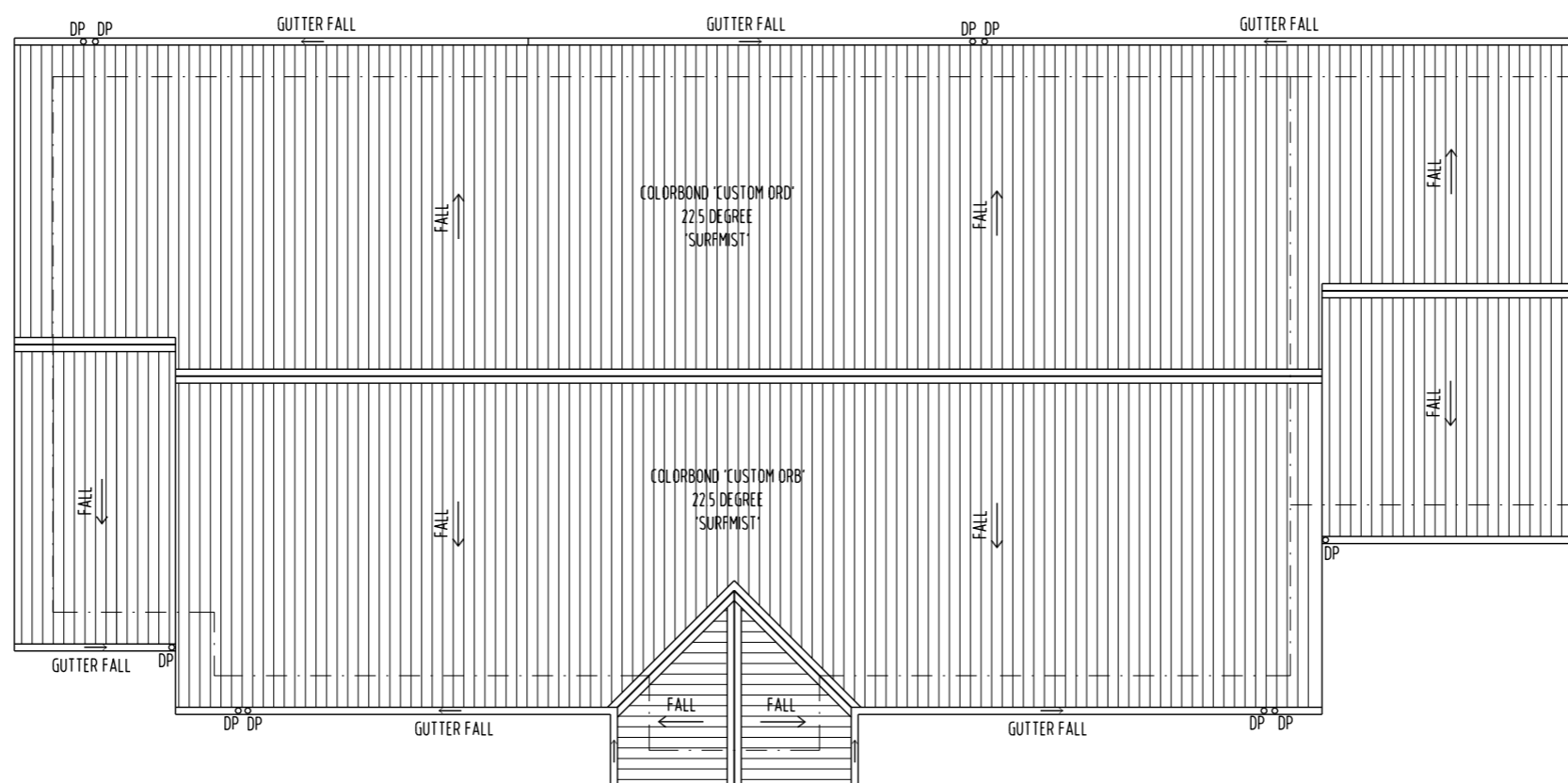
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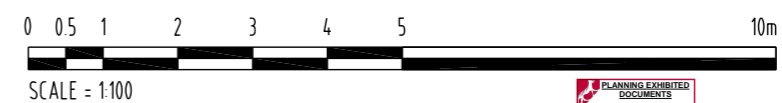
DATE: OCTOBER_2016

PROJECT NO. 1625

DRAWING NO. A-DA-06 A

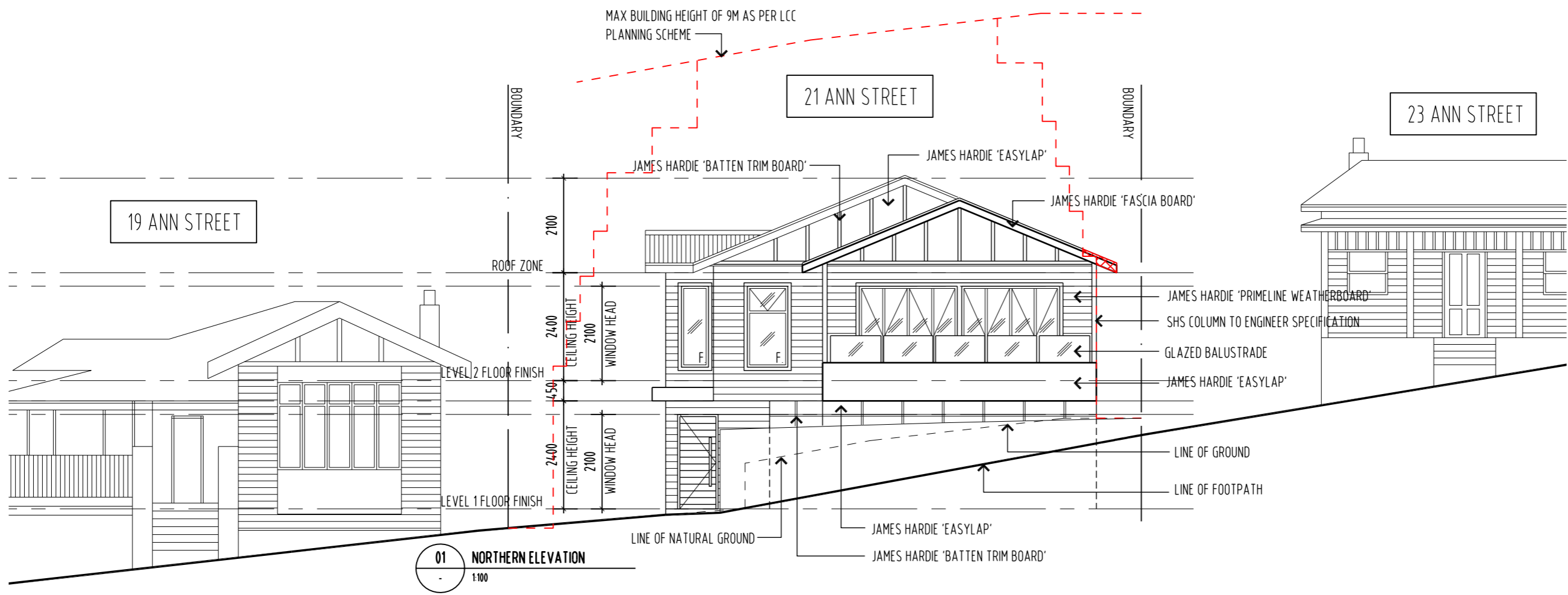


01 TOWNHOUSE 1 - ROOF PLAN
- 1:100





REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb



01 NORTHERN ELEVATION
1:100

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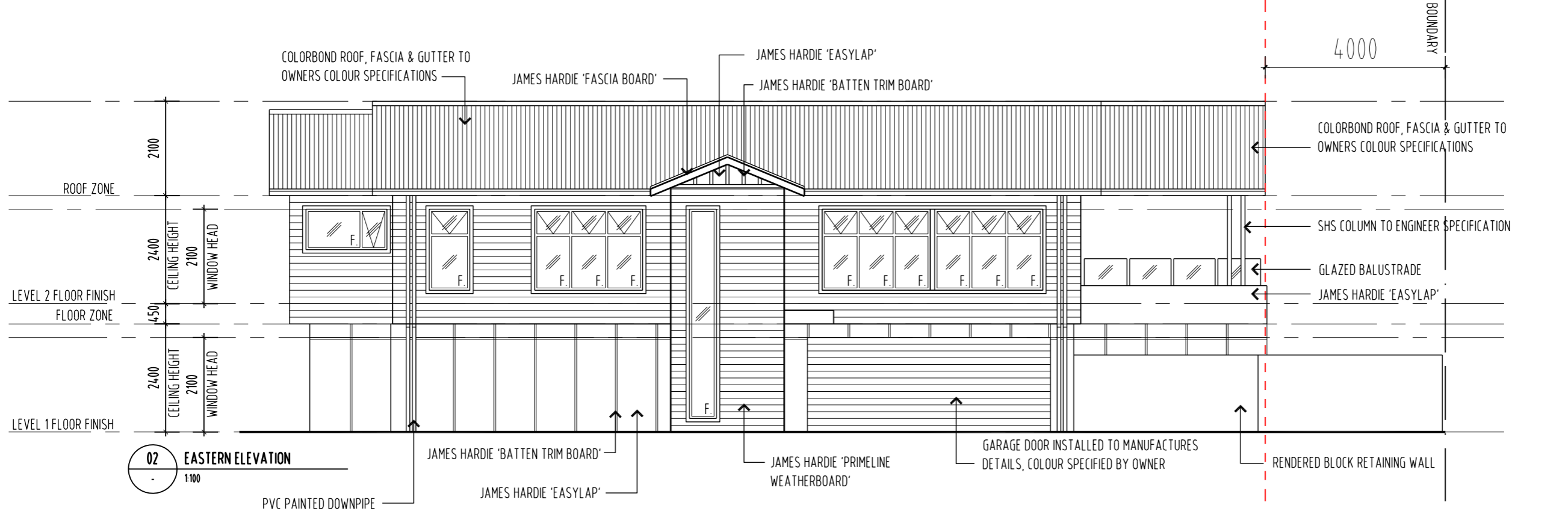
DEVELOPMENT APPLICATION



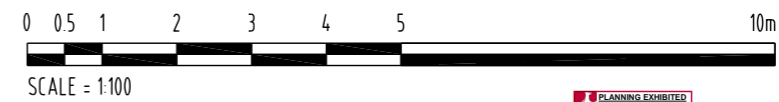
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 1
NORTHERN & EASTERN ELEVATIONS



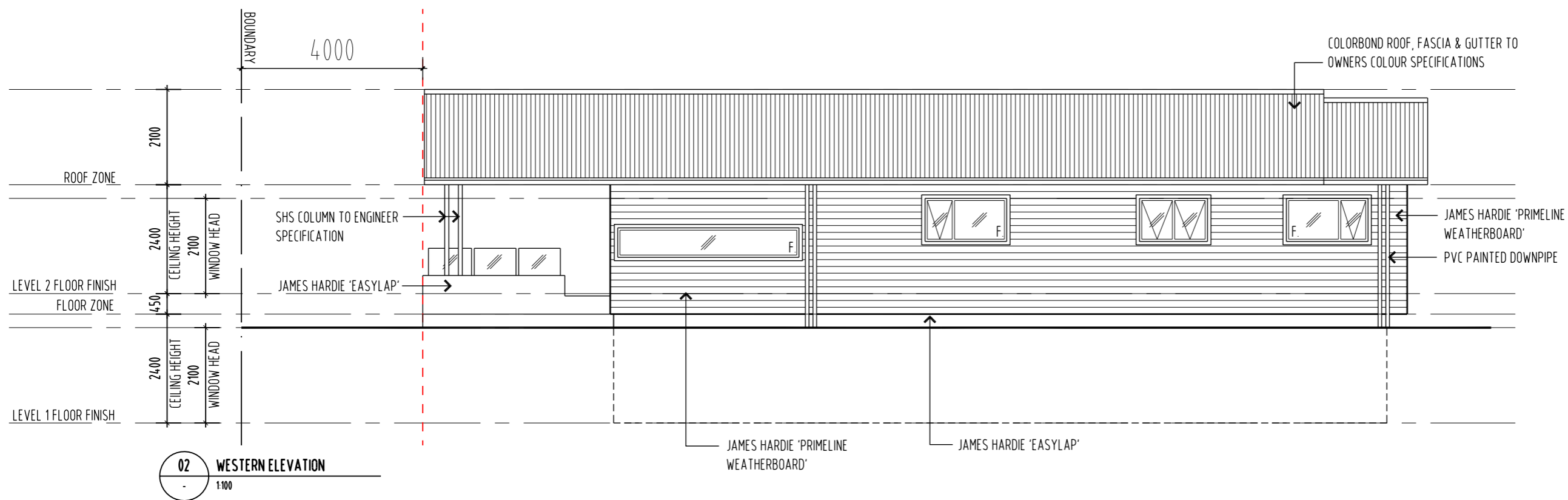
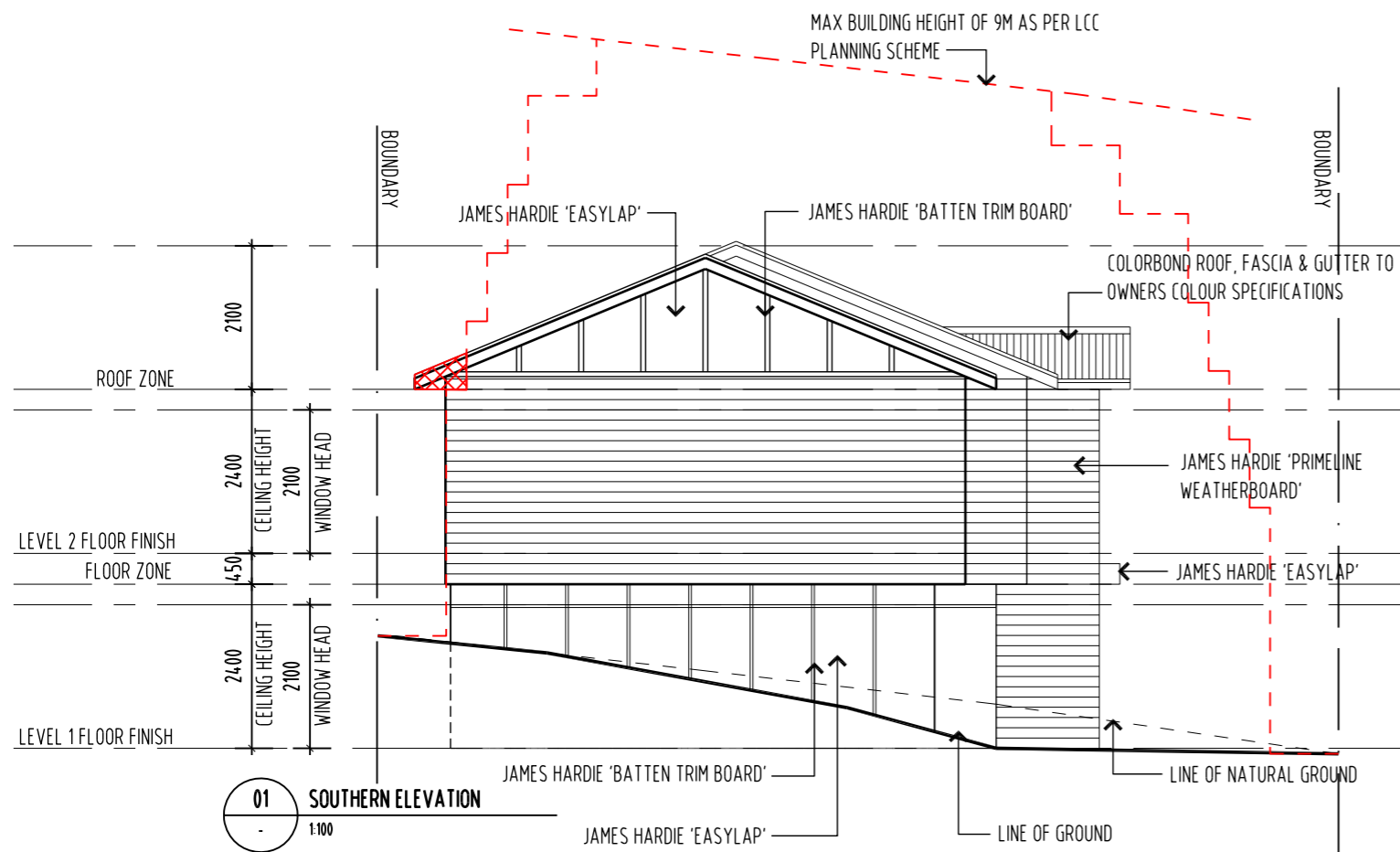
02 EASTERN ELEVATION
1:100



DRAWN:	MB
CHECKED:	MB
SCALE:	1:100 @ A3
DATE:	OCTOBER_2016
PROJECT NO.	1625
DRAWING NO.	A-DA-07



REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb



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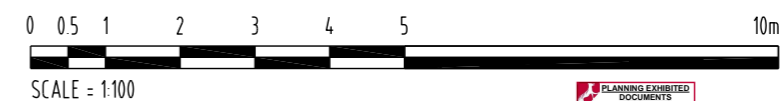
PROJECT NAME:
 PRIVATE TOWN HOUSES
 21 ANN STREET
 EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
 TOWN HOUSE 1
 SOUTHERN & WESTERN
 ELEVATIONS

DRAWN: MB
 CHECKED: MB

SCALE: 1:100 @ A3
 DATE: OCTOBER 2016

PROJECT NO. 1625
 DRAWING NO. A-DA-08 A





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No	DATE	DESCRIPTION	BY/CHECK
A	07.02.17	DEVELOPMENT APPLICATION	mb mb

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DEVELOPMENT APPLICATION



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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 2
LEVEL 1 PLAN

DRAWN: MB

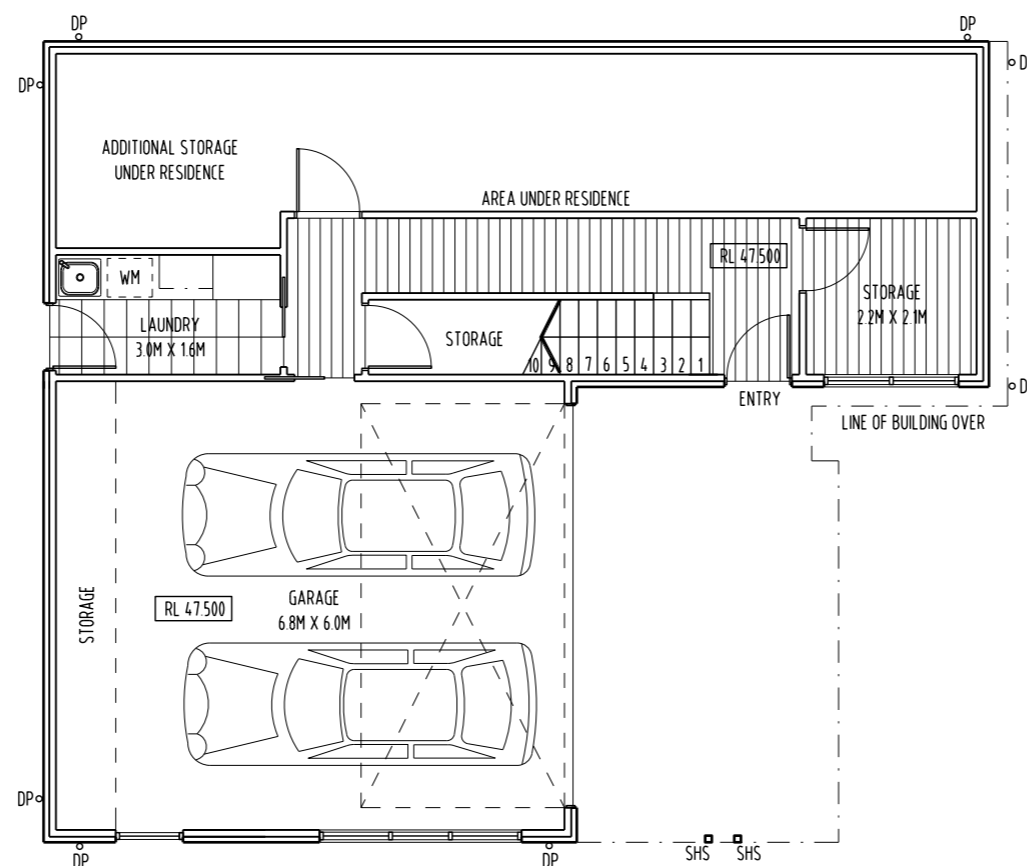
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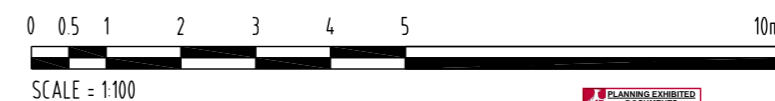
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PROJECT NO. 1625

DRAWING NO. A-DA-09 A



01 TOWNHOUSE 2 - LEVEL 1 PLAN
- 1:100





REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

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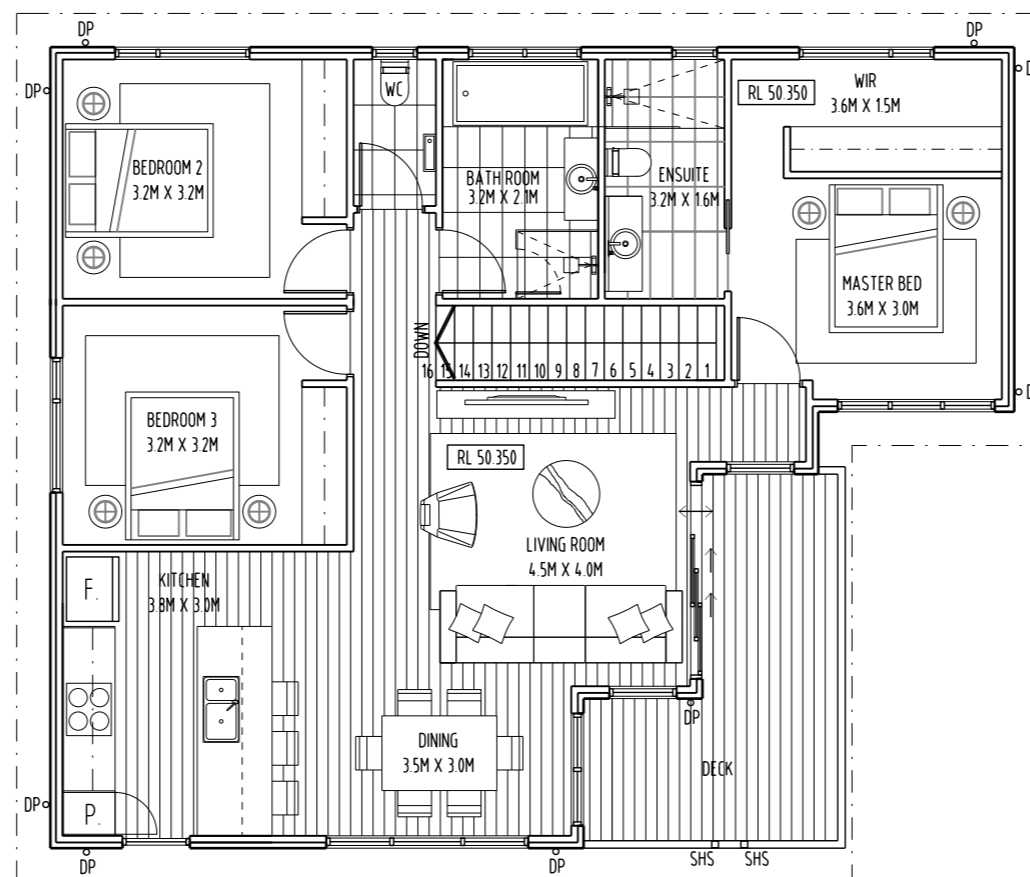
PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 2
LEVEL 2 PLAN

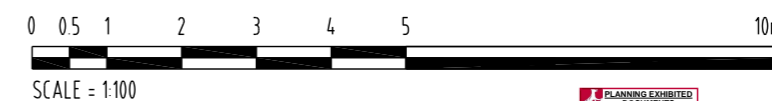
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SCALE: 1:100 @ A3
DATE: OCTOBER_2016

PROJECT NO. 1625
DRAWING NO. A-DA-10 A



01 TOWNHOUSE 2 - LEVEL 2 PLAN
- 1:100





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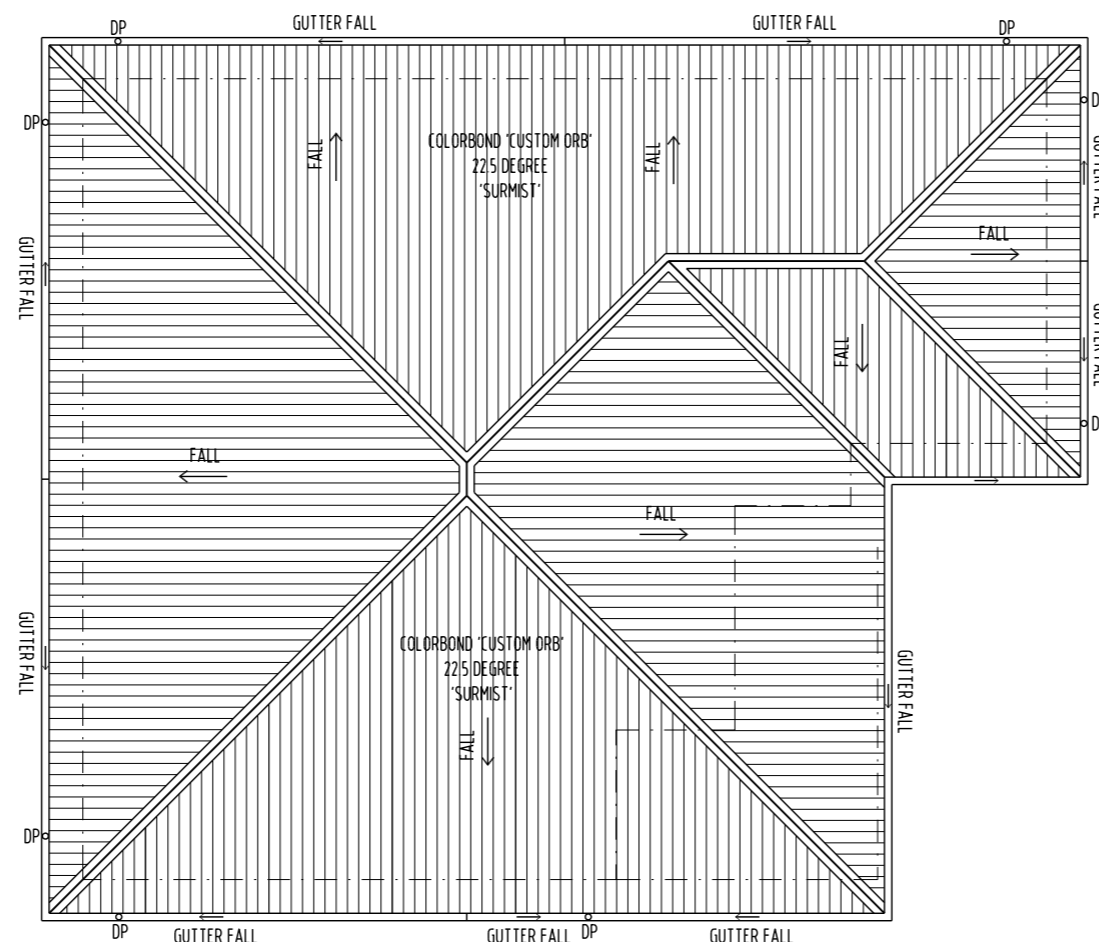
PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 2
ROOF PLAN

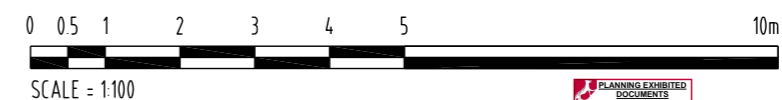
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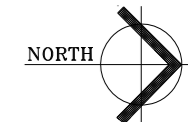
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DATE: OCTOBER_2016

PROJECT NO. 1625
DRAWING NO. A-DA-11 A

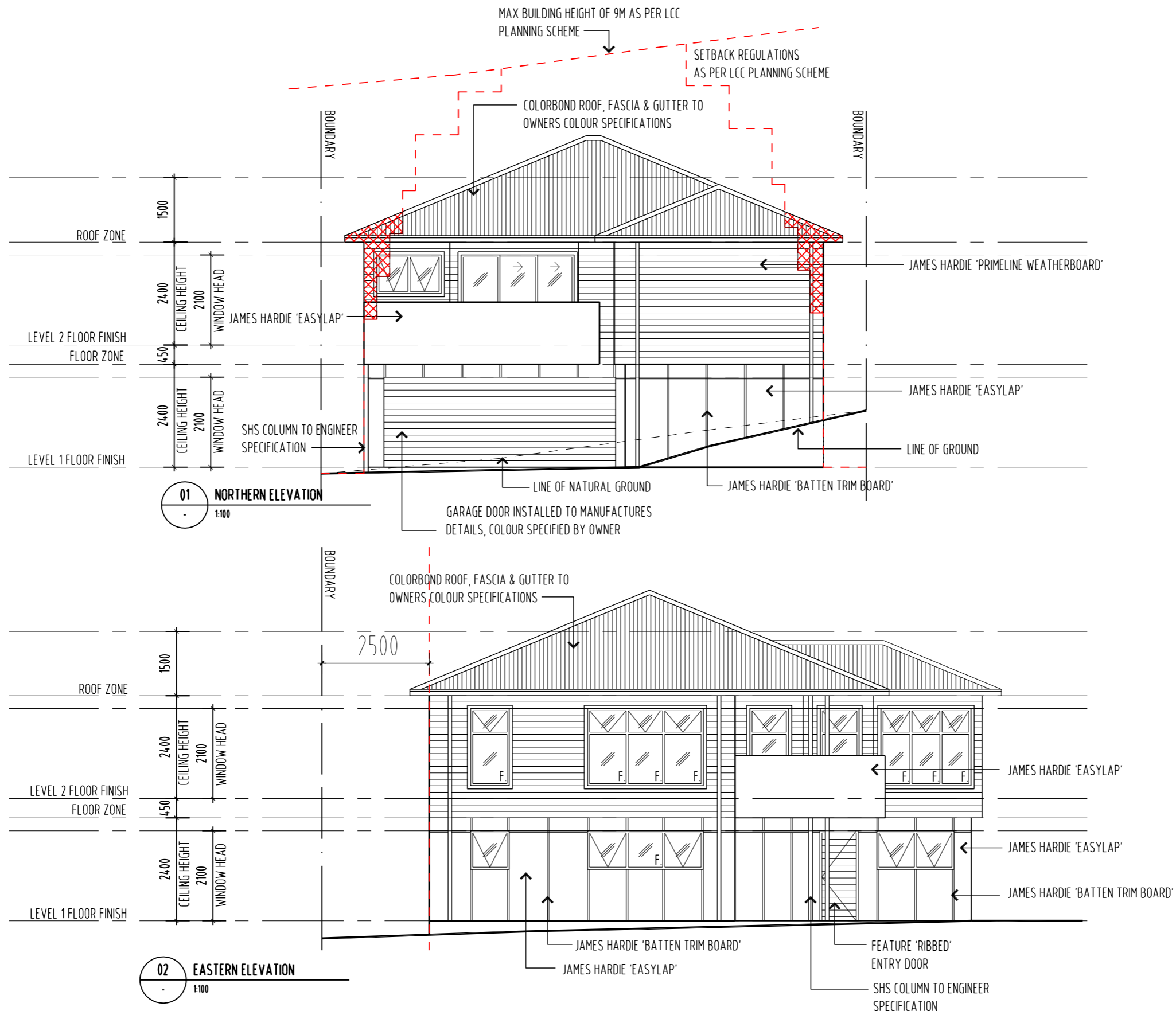


01 TOWNHOUSE 2 - ROOF PLAN
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21 ANN STREET
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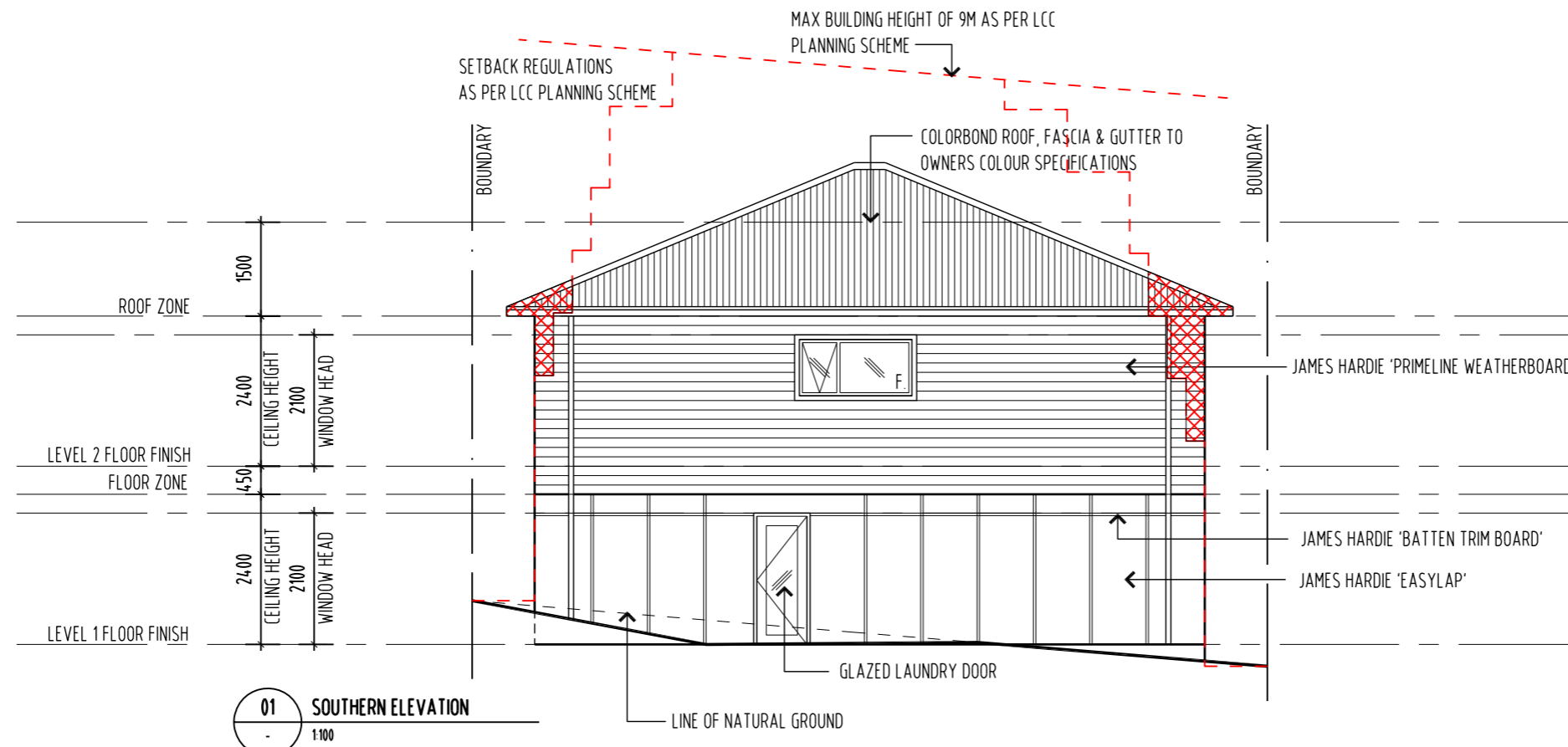
DRAWING TITLE:
TOWN HOUSE 2
NORTHERN & EASTERN
ELEVATIONS

DRAWN: MB
CHECKED: MB
SCALE: 1:100 @ A3
DATE: OCTOBER_2016
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DRAWING NO. A-DA-12 A





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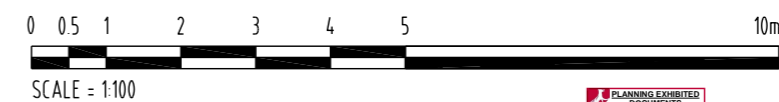
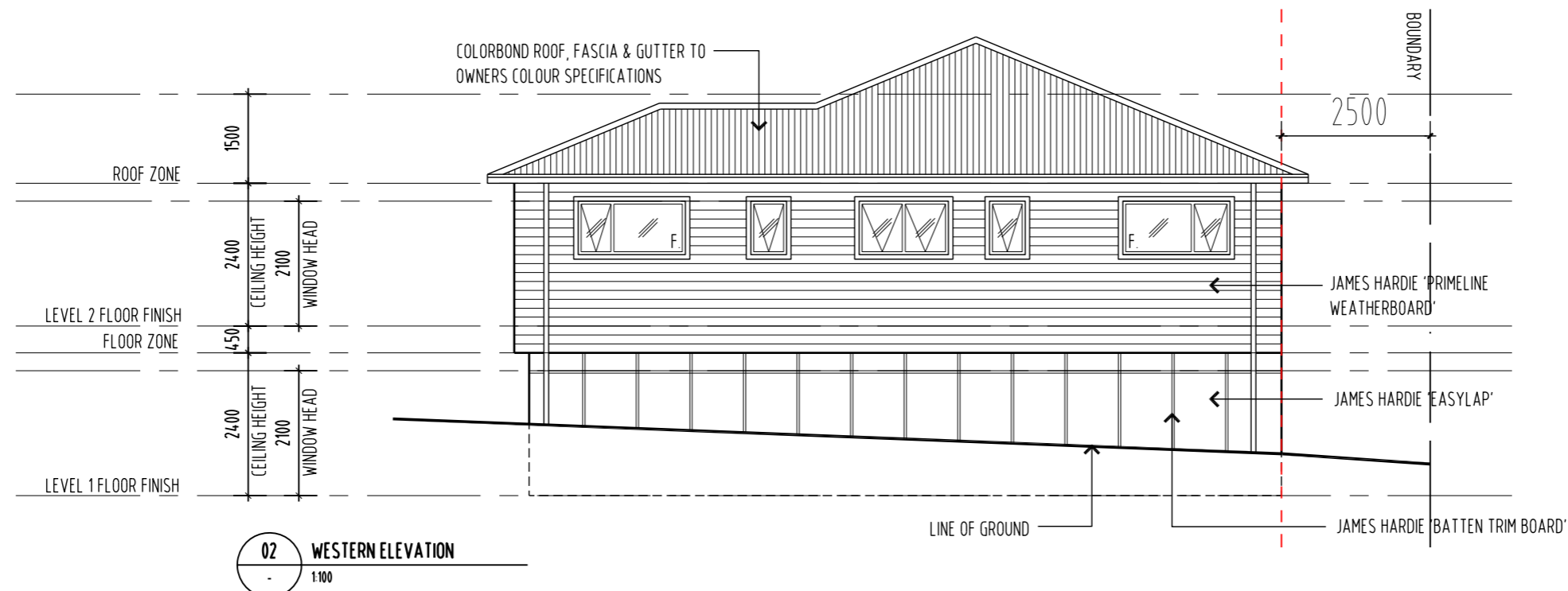
PROJECT NAME:
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 21 ANN STREET
 EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
 TOWN HOUSE 2
 SOUTHERN & WESTERN ELEVATIONS

DRAWN: MB
 CHECKED: MB

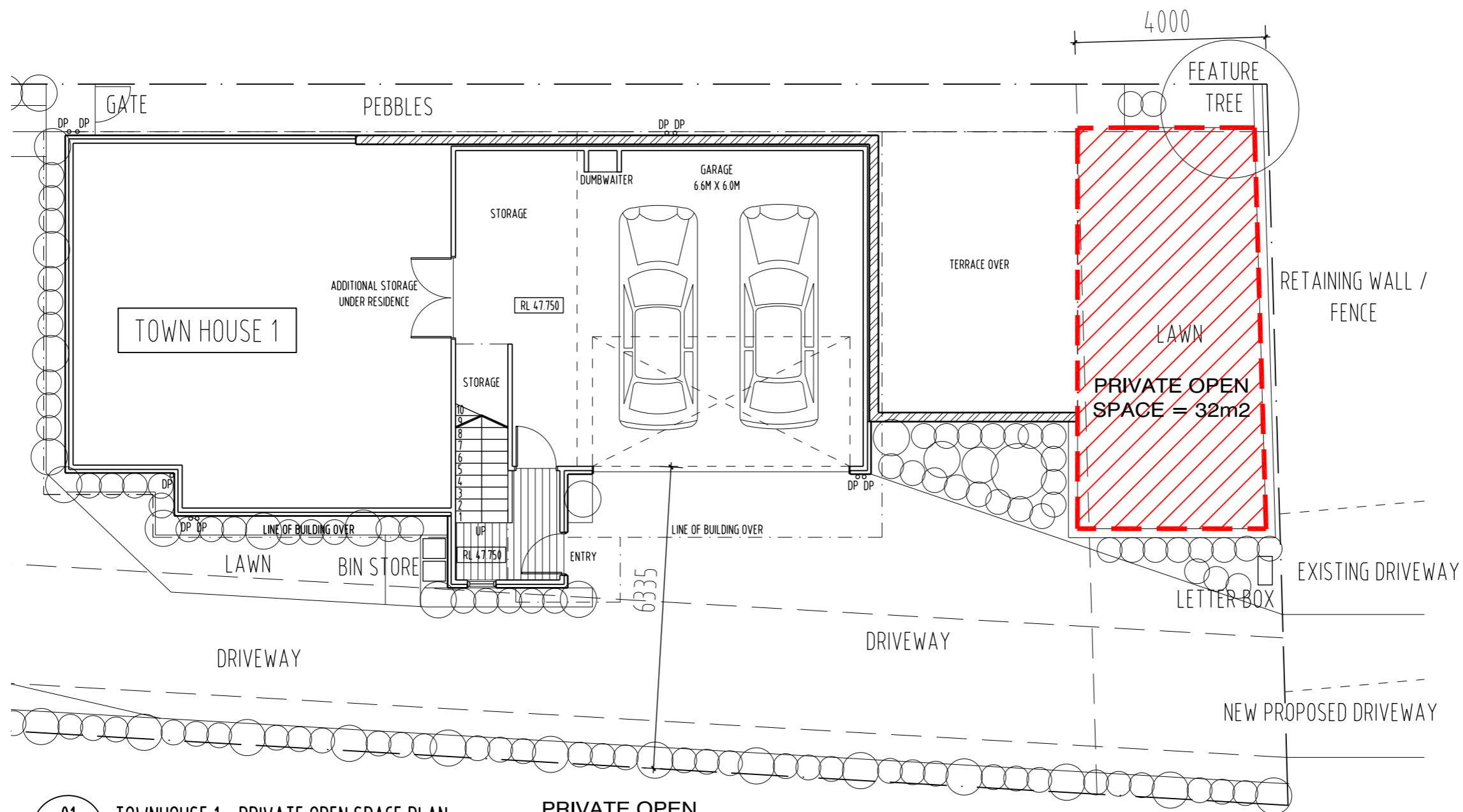
SCALE: 1:100 @ A3
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PROJECT NO. 1625
 DRAWING NO. A-DA-13 A





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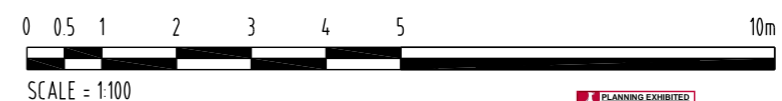
PROJECT NAME:
 PRIVATE TOWN HOUSES
 21 ANN STREET
 EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
 TOWN HOUSE 1
 PRIVATE OPEN SPACE DIAGRAM

DRAWN: MB
 CHECKED: MB
 SCALE: 1:100 @ A3
 DATE: OCTOBER_2016
 PROJECT NO. 1625
 DRAWING NO. A-DA-14 A

01 TOWNHOUSE 1 - PRIVATE OPEN SPACE PLAN
 1:100

PRIVATE OPEN SPACE = 32m²





REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

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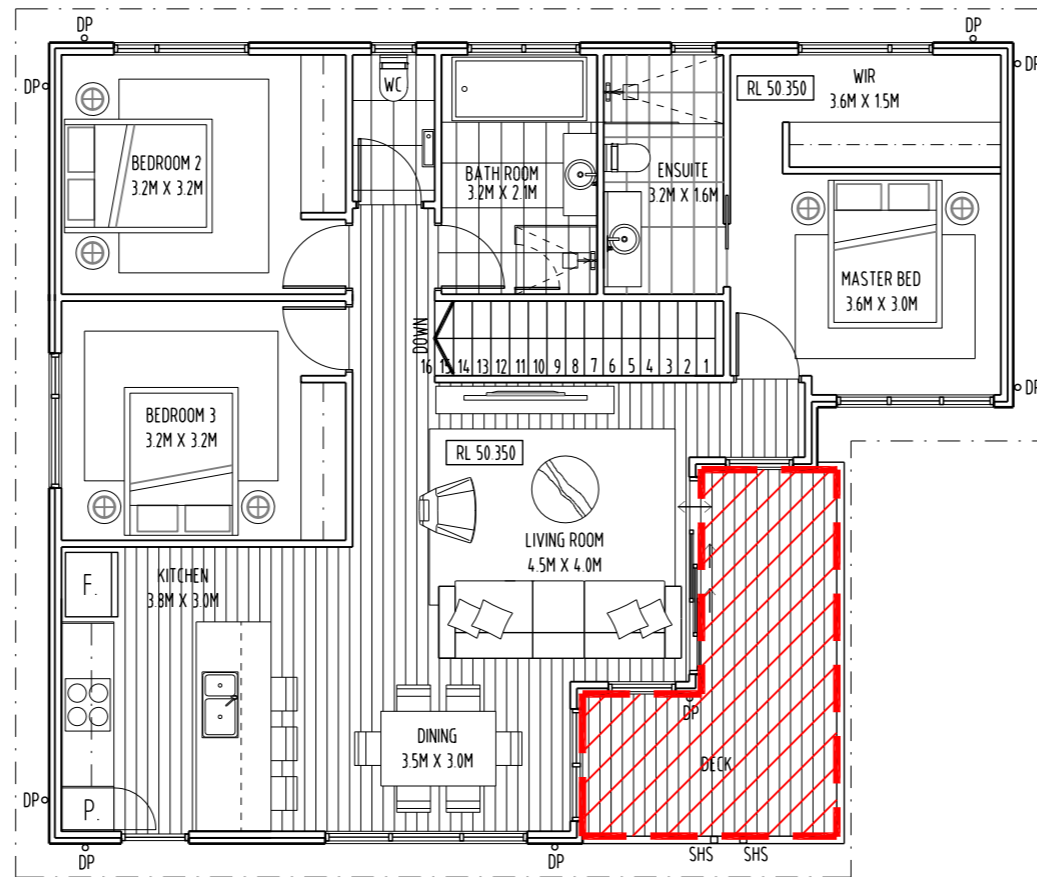
PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 2
PRIVATE OPEN SPACE DIAGRAM

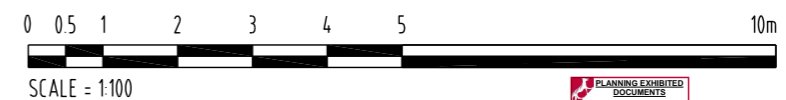
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SCALE: 1:100 @ A3
DATE: OCTOBER_2016

PROJECT NO. 1625
DRAWING NO. A-DA-15 A

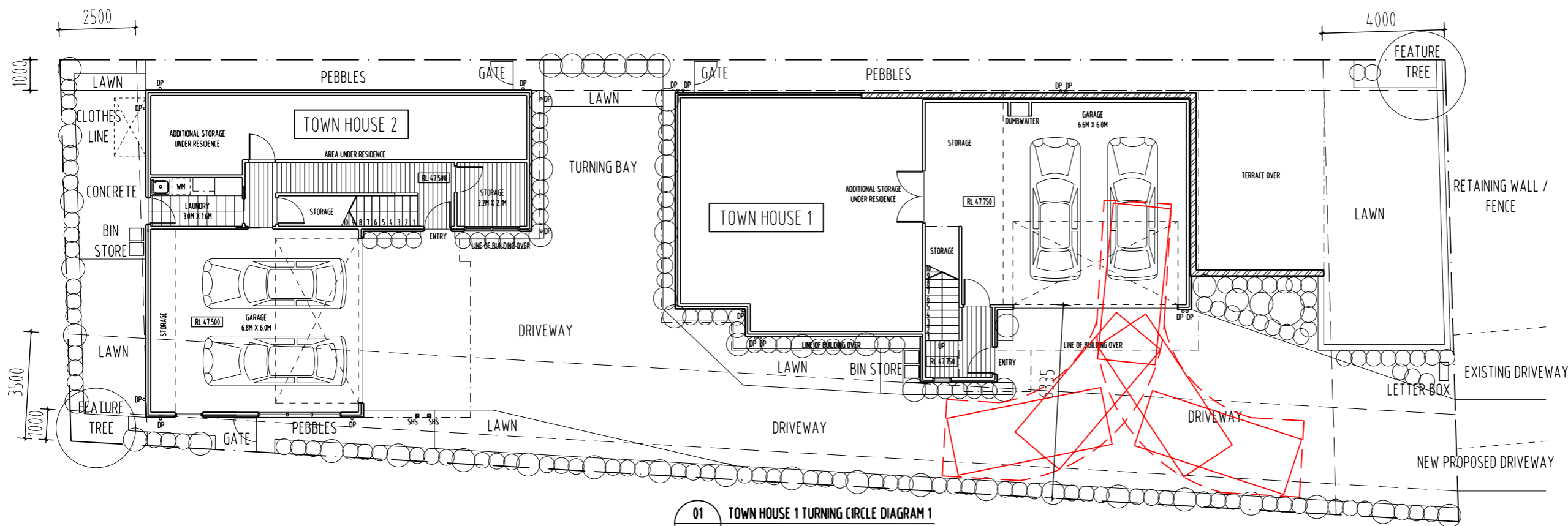


01 TOWNHOUSE 2 - PRIVATE OPEN SPACE PLAN PRIVATE OPEN SPACE = 13m²
1:100

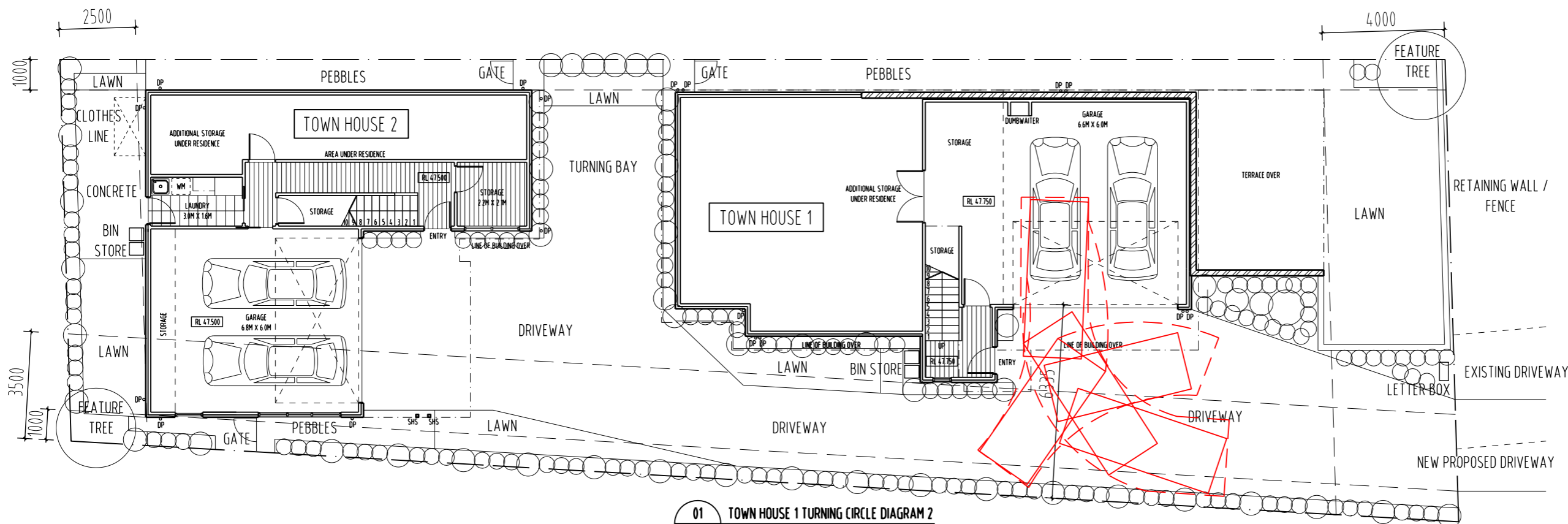




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A	07.02.17	DEVELOPMENT APPLICATION	mb	mb



01 TOWN HOUSE 1 TURNING CIRCLE DIAGRAM 1
1:150



01 TOWN HOUSE 1 TURNING CIRCLE DIAGRAM 2
1:150

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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
TOWN HOUSE 1
VEHICLE TURNING CIRCLE
DIAGRAMS

DRAWN: MB
CHECKED: MB

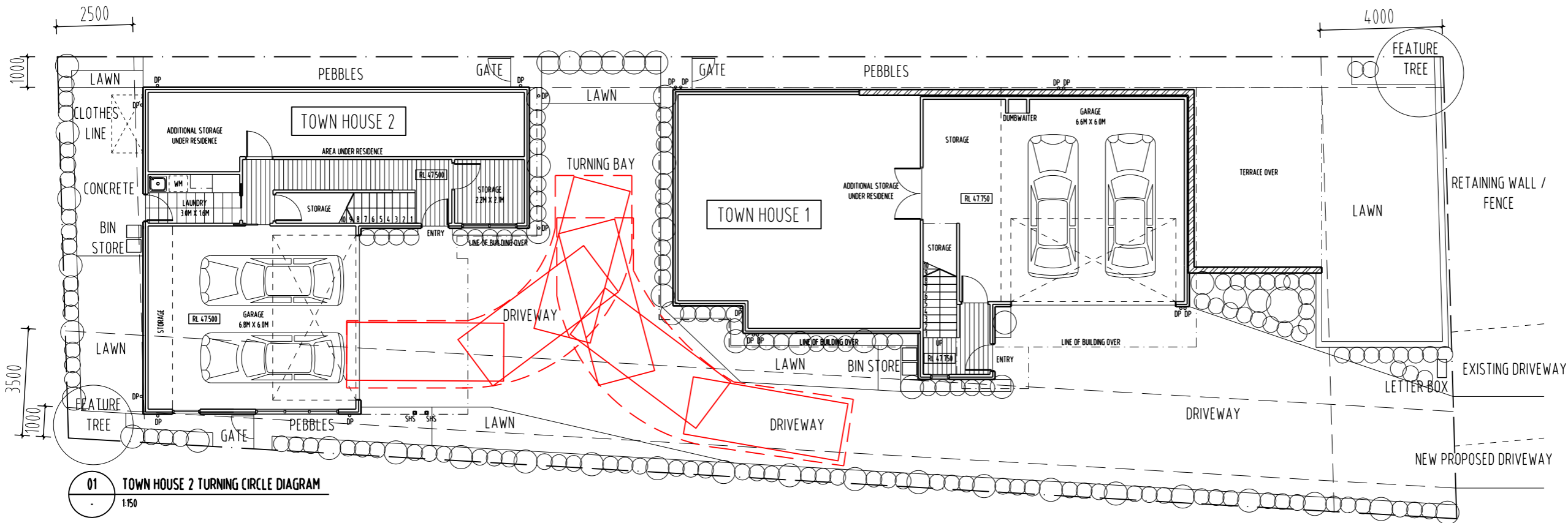
SCALE: 1:150 @ A3
DATE: OCTOBER 2016

PROJECT NO. 1625
DRAWING NO. A-DA-16 A





REVISION	DATE	DESCRIPTION	BY	CHECK
A	07.02.17	DEVELOPMENT APPLICATION	mb	mb



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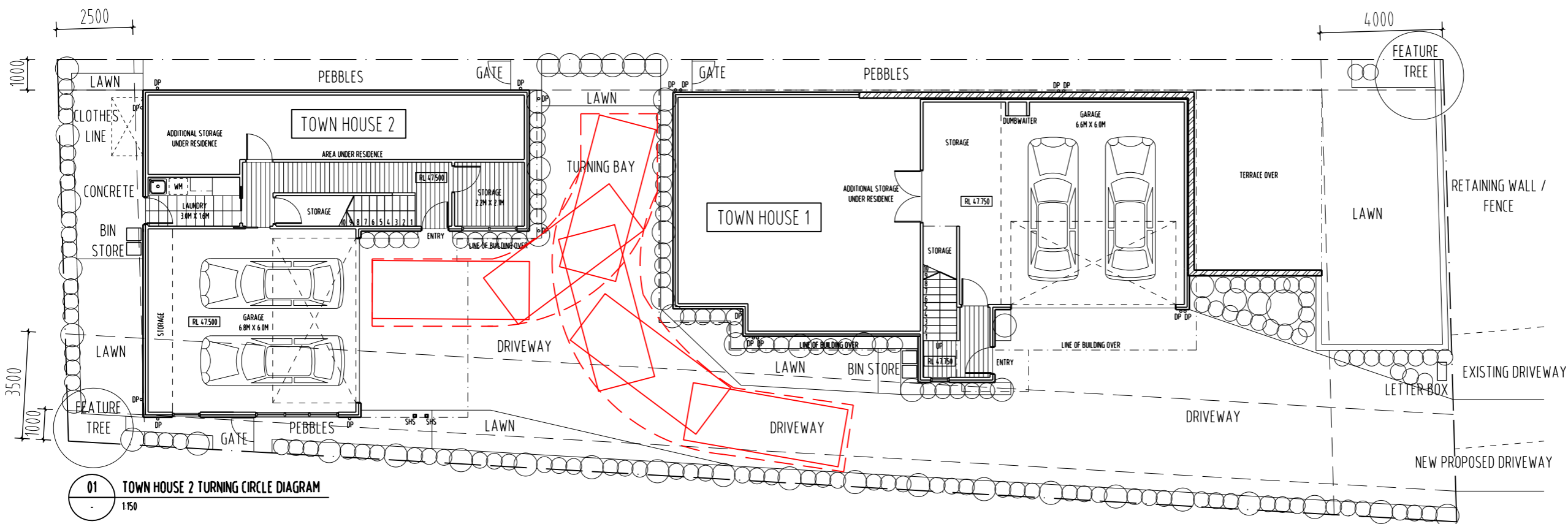


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PROJECT NAME:
 PRIVATE TOWN HOUSES
 21 ANN STREET
 EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
 TOWN HOUSE 2
 VEHICLE TURNING CIRCLE
 DIAGRAMS

DRAWN: MB
CHECKED: MB
SCALE: 1:150 @ A3
DATE: OCTOBER 2016
PROJECT NO.: 1625
DRAWING NO.: A-DA-17 A





REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

NOTE

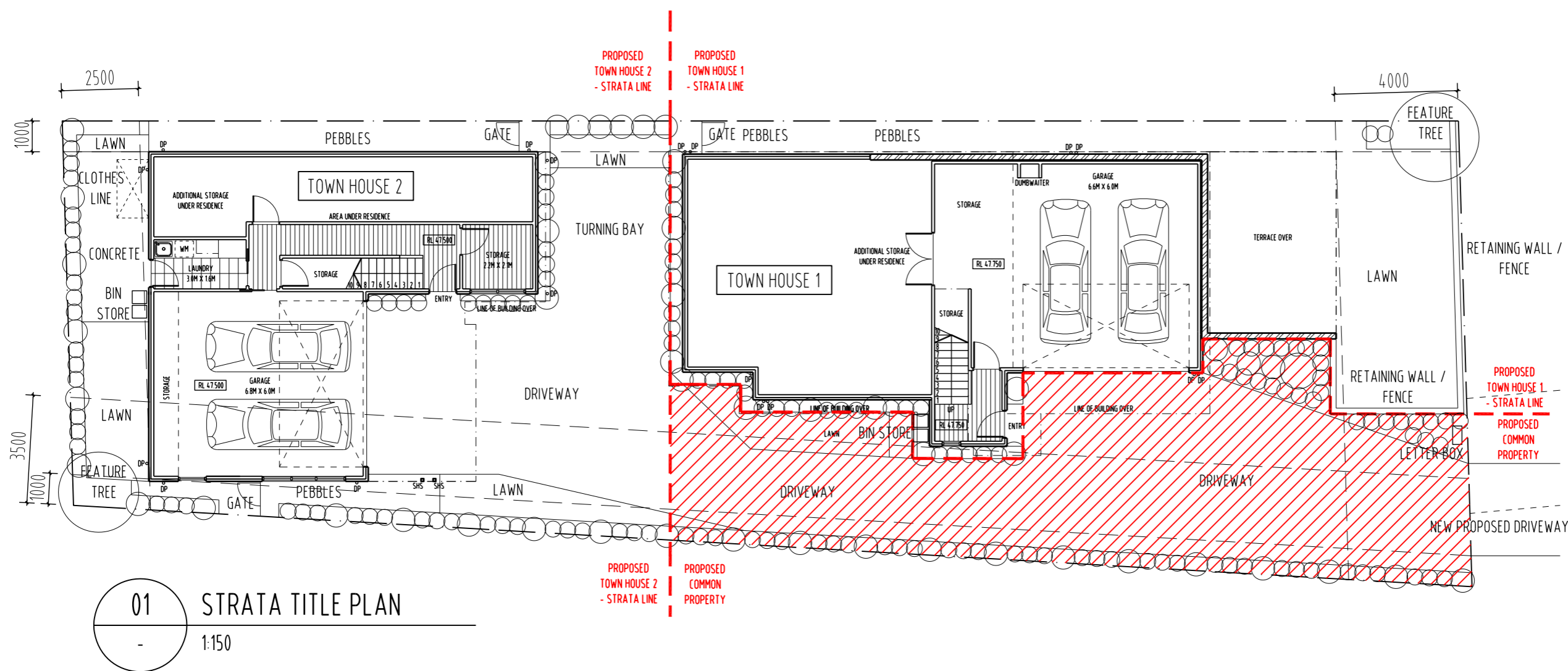
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01 STRATA TITLE PLAN
1:150

DEVELOPMENT APPLICATION



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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
FUTURE STRATA TITLE
DIAGRAM

DRAWN: MB
CHECKED: MB
SCALE: 1:150 @ A3
DATE: OCTOBER_2016
PROJECT NO. 1625
DRAWING NO. A-DA-18 A



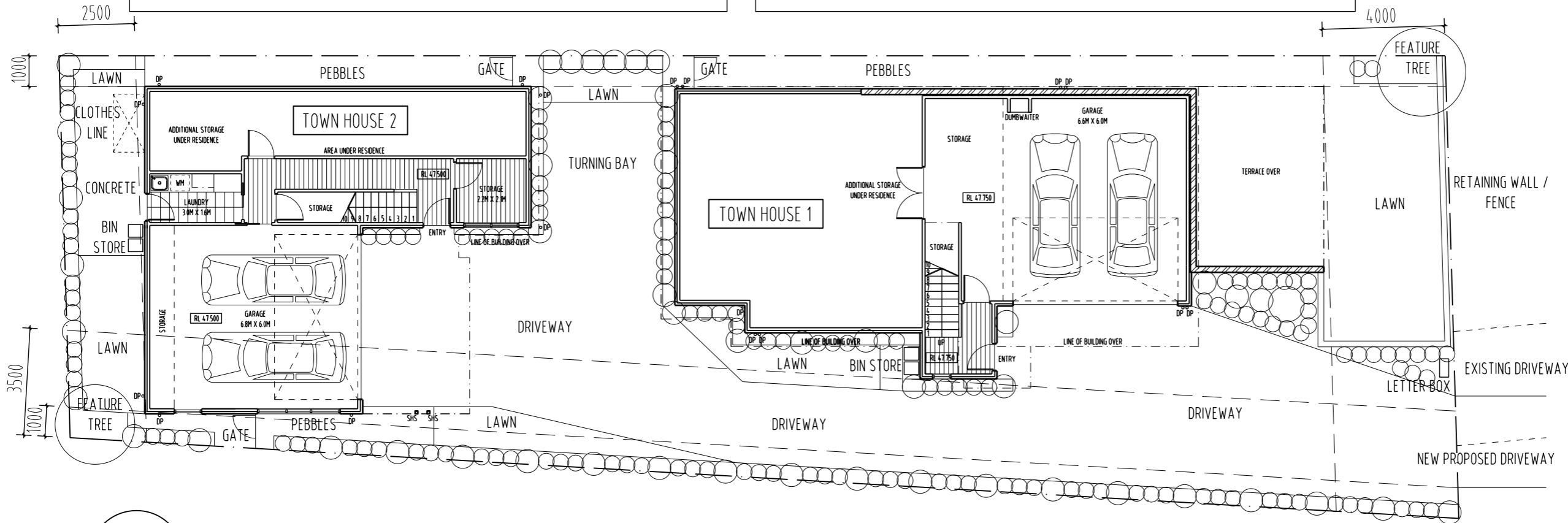


REVISION	NO	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

GENERAL CONCRETE NOTE:
 ALL DRIVEWAYS TO BE CONCRETE TO ENGINEER SPEC. BRUSHED FINISH.
 ALL DECK / EXTERNAL LAUNDRY AREAS TO BE TIMBER FRAMED TO CLIENT SELECTION.
 ALL CONCRETE WORK TO MEET BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS.

LANDSCAPE SCHEDULE:
 LOW MAINTENANCE AND MINIMAL FOLIAGE SELECTION OF PLANTS TO ENCOURAGE BIO DIVERSITY
 LOMANDRA LONGIFOLIA, CALLISTEMON, PONGO PYGMAEUS,
 EVER LASTING CHRYSOCEPHALUM APRICLATIUM, LEUCODENDRON, SAGGLOMANDRA LONGIFOLIA,

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PROJECT NAME:
 PRIVATE TOWN HOUSES
 21 ANN STREET
 EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
 LANDSCAPE PLAN

DRAWN:	MB
CHECKED:	MB
SCALE:	1:150 @ A3
DATE:	OCTOBER_2016
PROJECT NO.	1625
DRAWING NO.	A-DA-19



01 LANDSCAPE PLAN
 1:150



REVISION	DATE	DESCRIPTION	BY	CHECK
A	07.02.17	DEVELOPMENT APPLICATION	mb	mb

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DEVELOPMENT APPLICATION

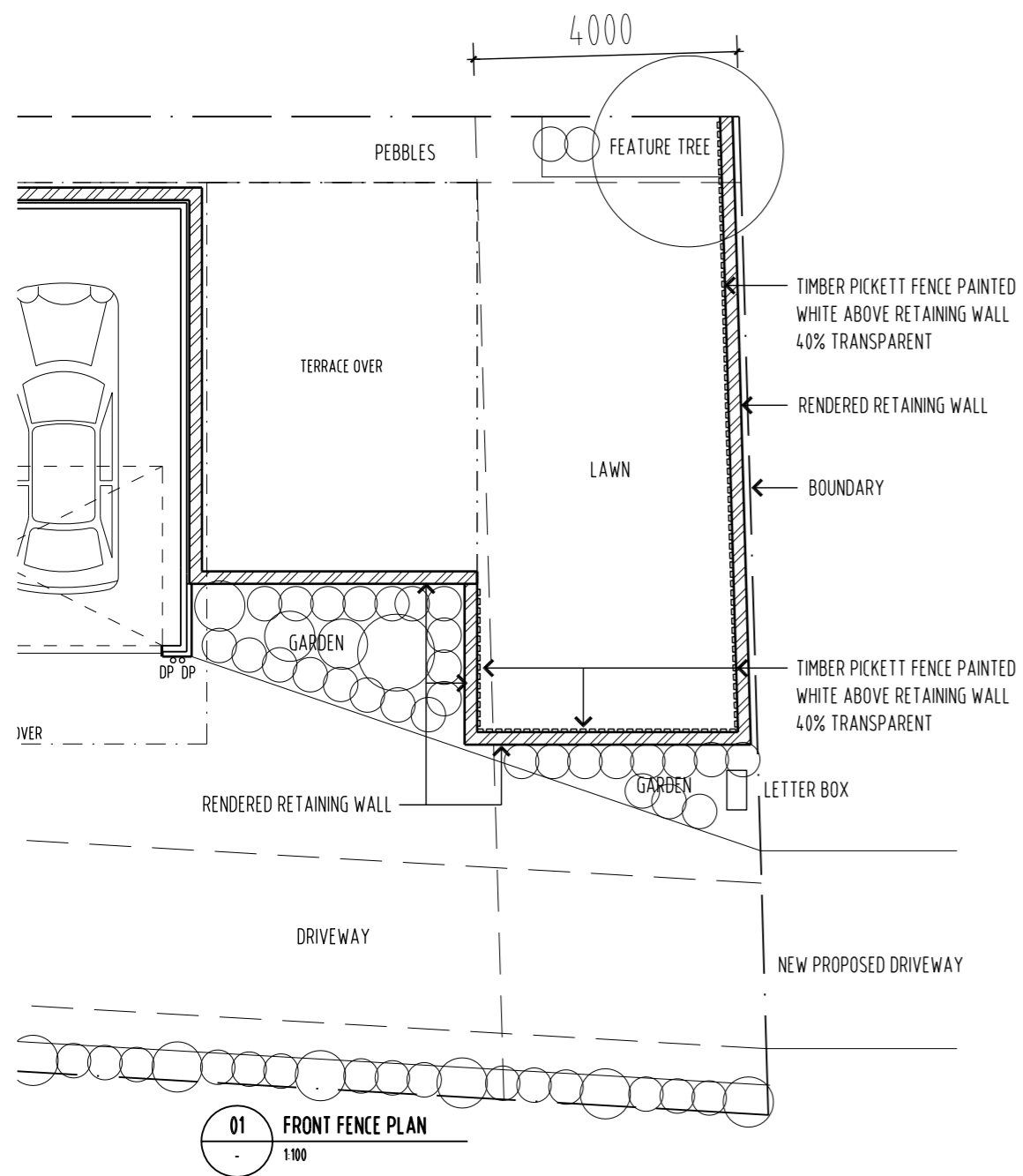
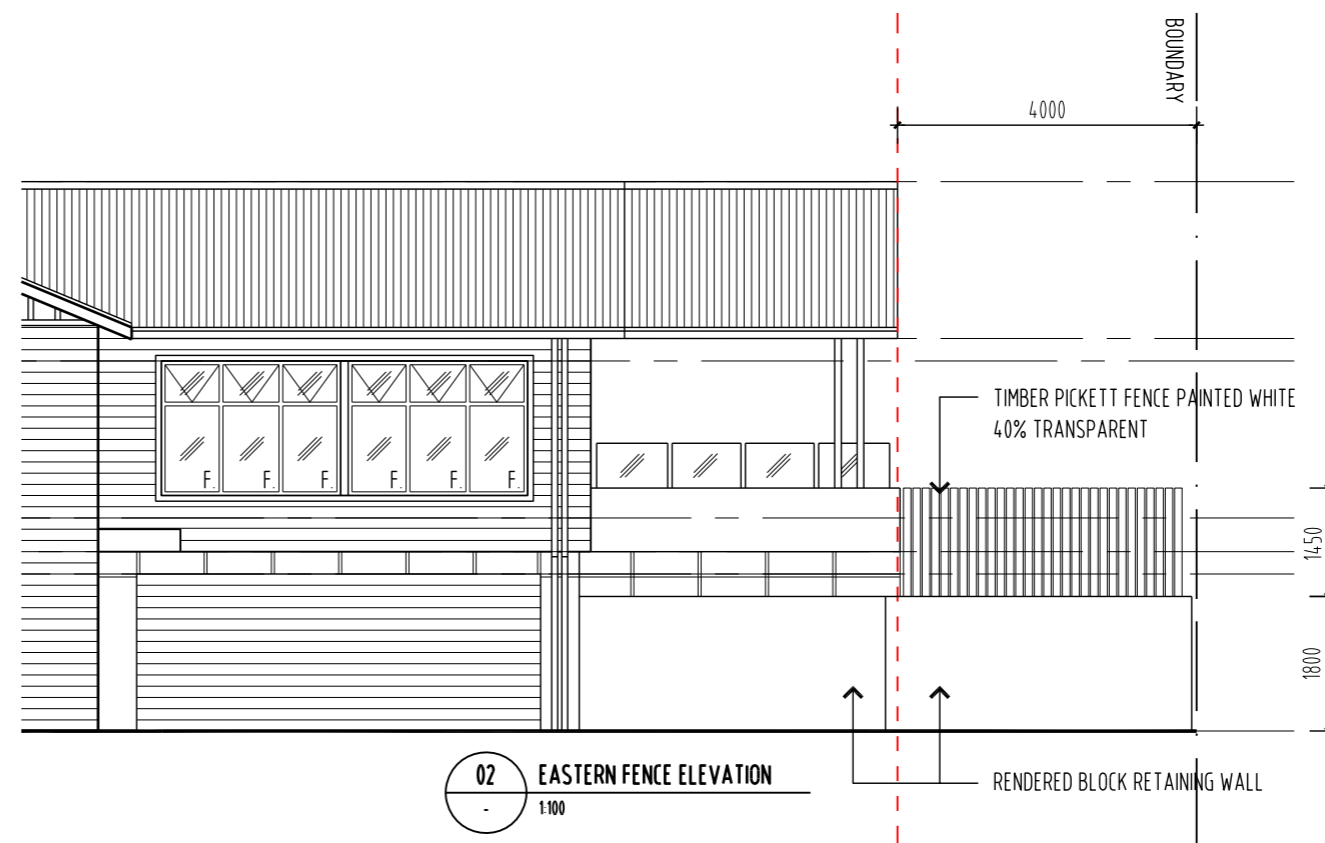
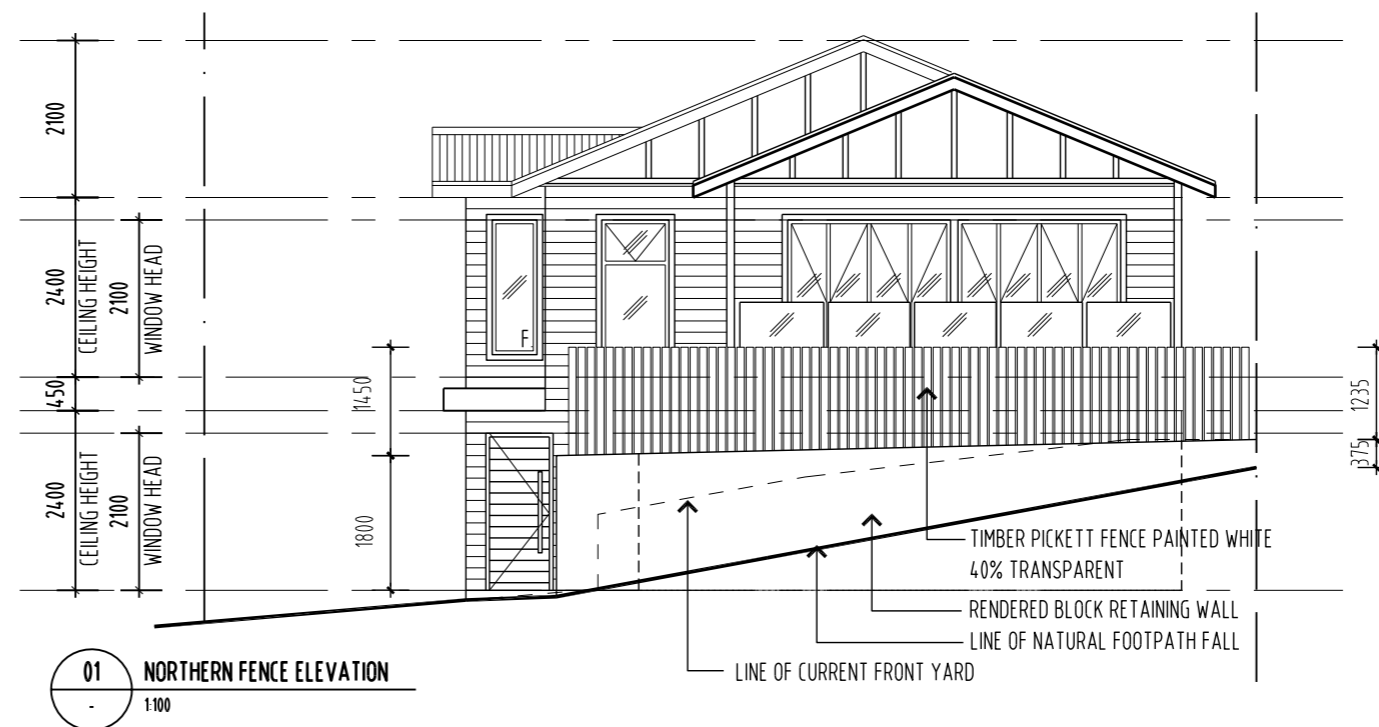


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PROJECT NAME:
 PRIVATE TOWN HOUSES
 21 ANN STREET
 EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
 FRONT FENCE DETAIL

DRAWN: MB
 CHECKED: MB
 SCALE: VARIES @ A3
 DATE: OCTOBER_2016
 PROJECT NO. 1625
 DRAWING NO. A-DA-20 A





REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

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DEVELOPMENT APPLICATION



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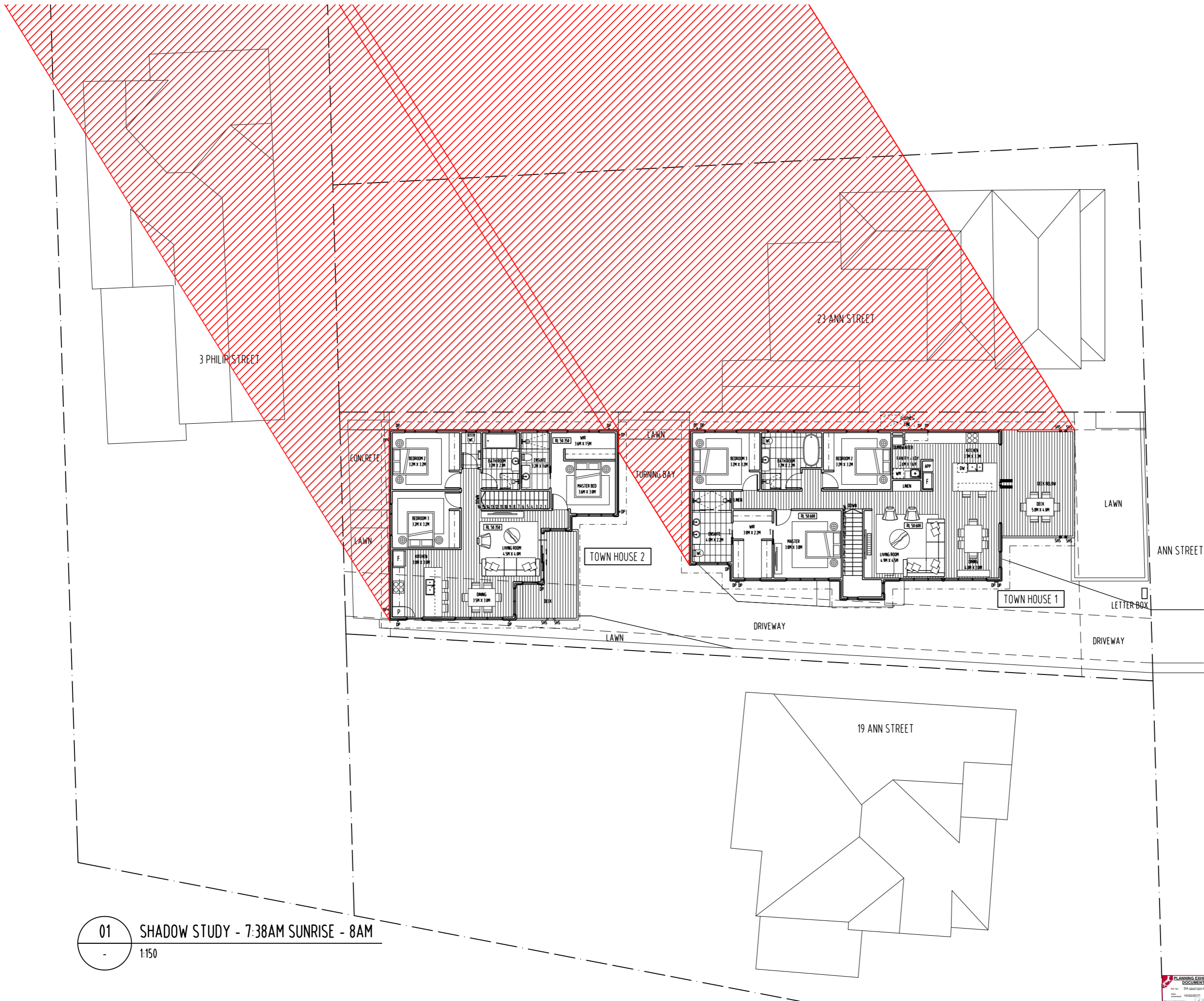
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
SHADOW STUDY DIAGRAM
7:38AM SUNRISE - 8AM

DRAWN:	MB
CHECKED:	MB
SCALE:	NTS @ A3
DATE:	OCTOBER 2016
PROJECT NO:	1625
DRAWING NO:	A-DA-21 A



01 SHADOW STUDY - 7:38AM SUNRISE - 8AM
1:150





REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

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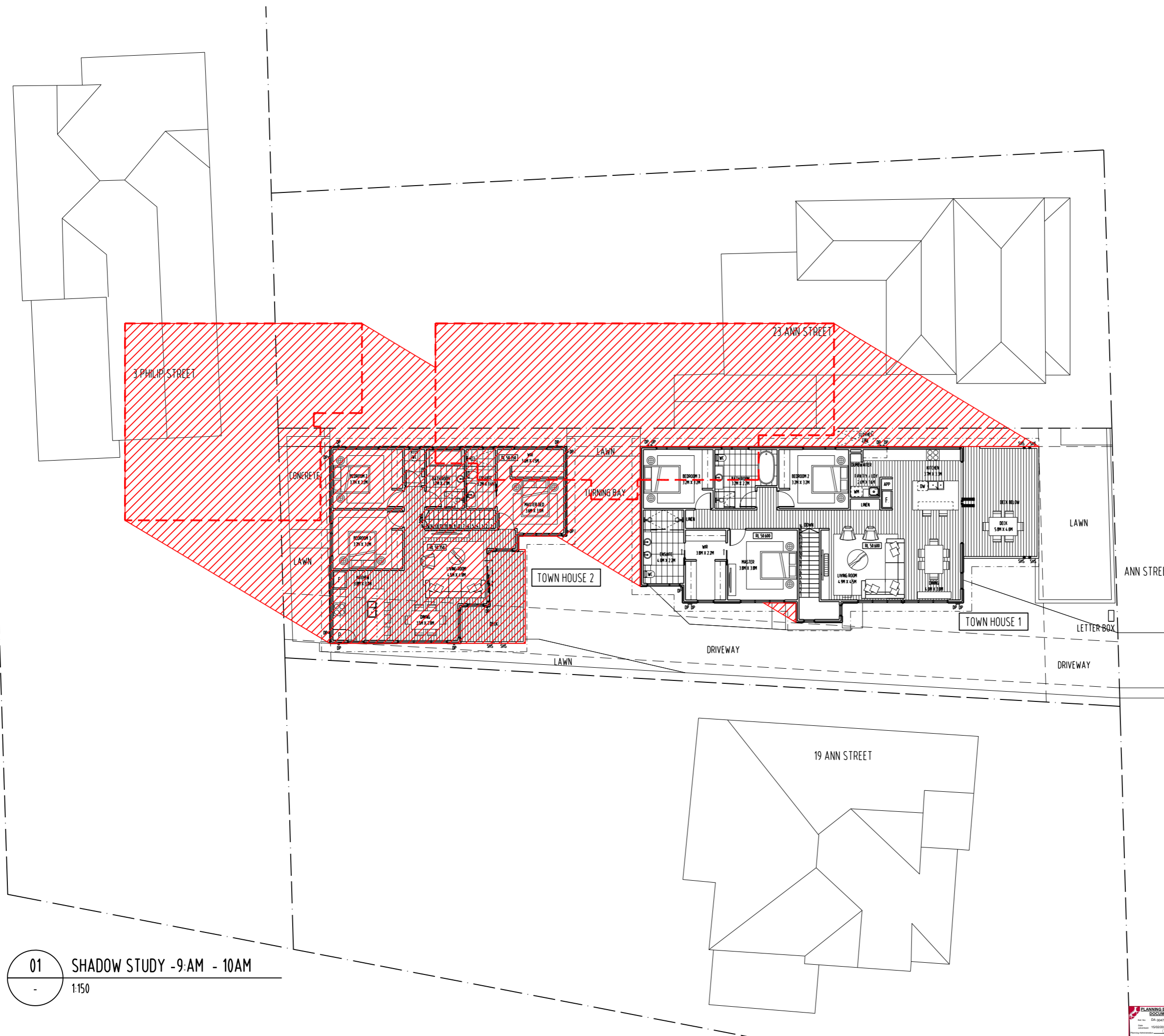
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
SHADOW STUDY DIAGRAM
9AM - 10AM

DRAWN: MB
CHECKED: MB

SCALE: NTS @ A3
DATE: OCTOBER 2016
PROJECT NO. 1625
DRAWING NO. A-DA-22 A



01 SHADOW STUDY - 9:AM - 10AM
1:150





REVISION		BYCHECK
No	DATE DESCRIPTION	mb mb
A	07.02.17 DEVELOPMENT APPLICATION	

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DEVELOPMENT APPLICATION



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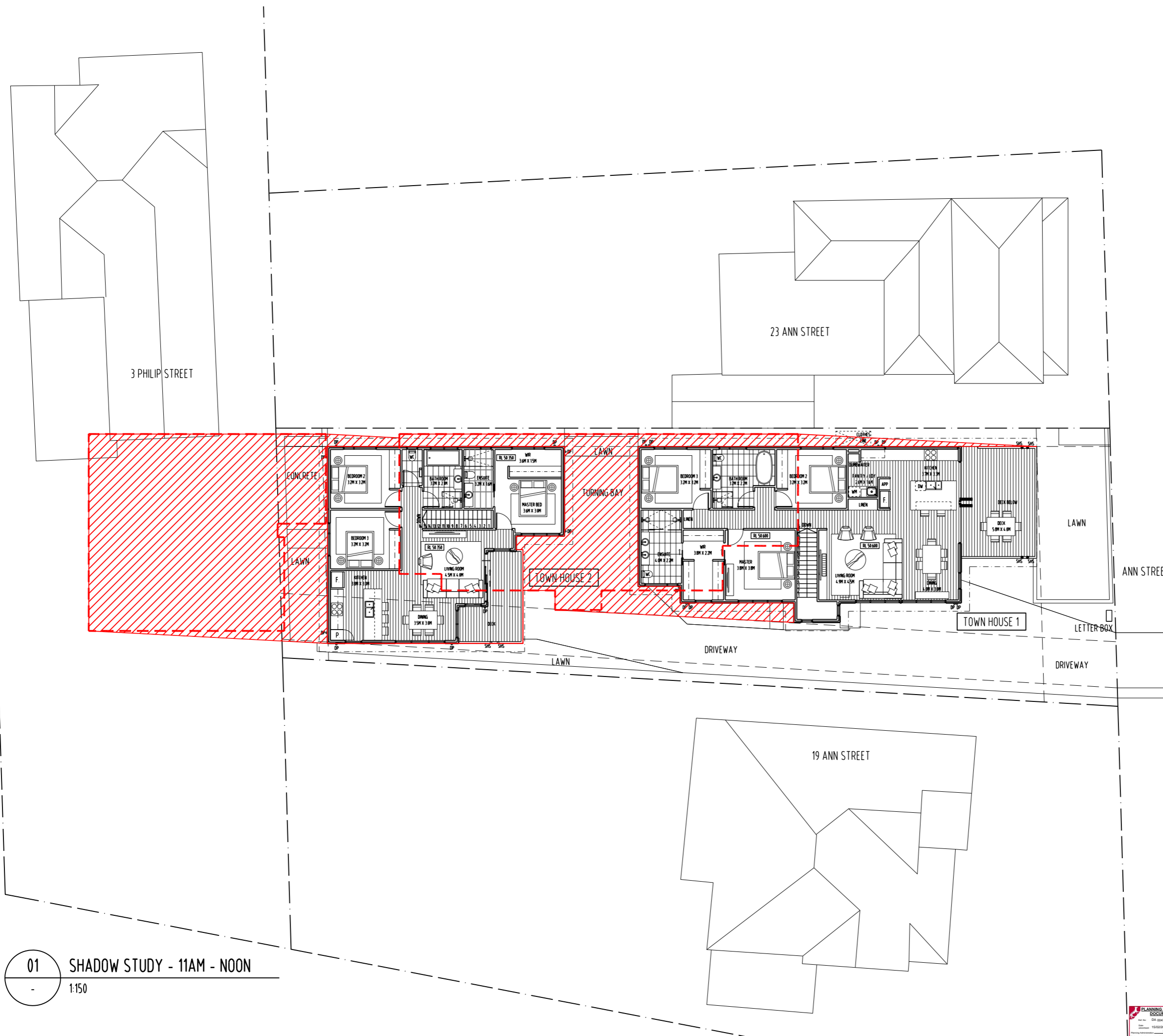
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
SHADOW STUDY DIAGRAM
11AM - 12NOON

DRAWN: MB
CHECKED: MB

SCALE: NTS @ A3
DATE: OCTOBER_2016
PROJECT NO. 1625
DRAWING NO. A-DA-23 A



01 SHADOW STUDY - 11AM - NOON
1:150





REVISION	No	DATE	DESCRIPTION	BY	CHECK
A	07.02.17		DEVELOPMENT APPLICATION	mb	mb

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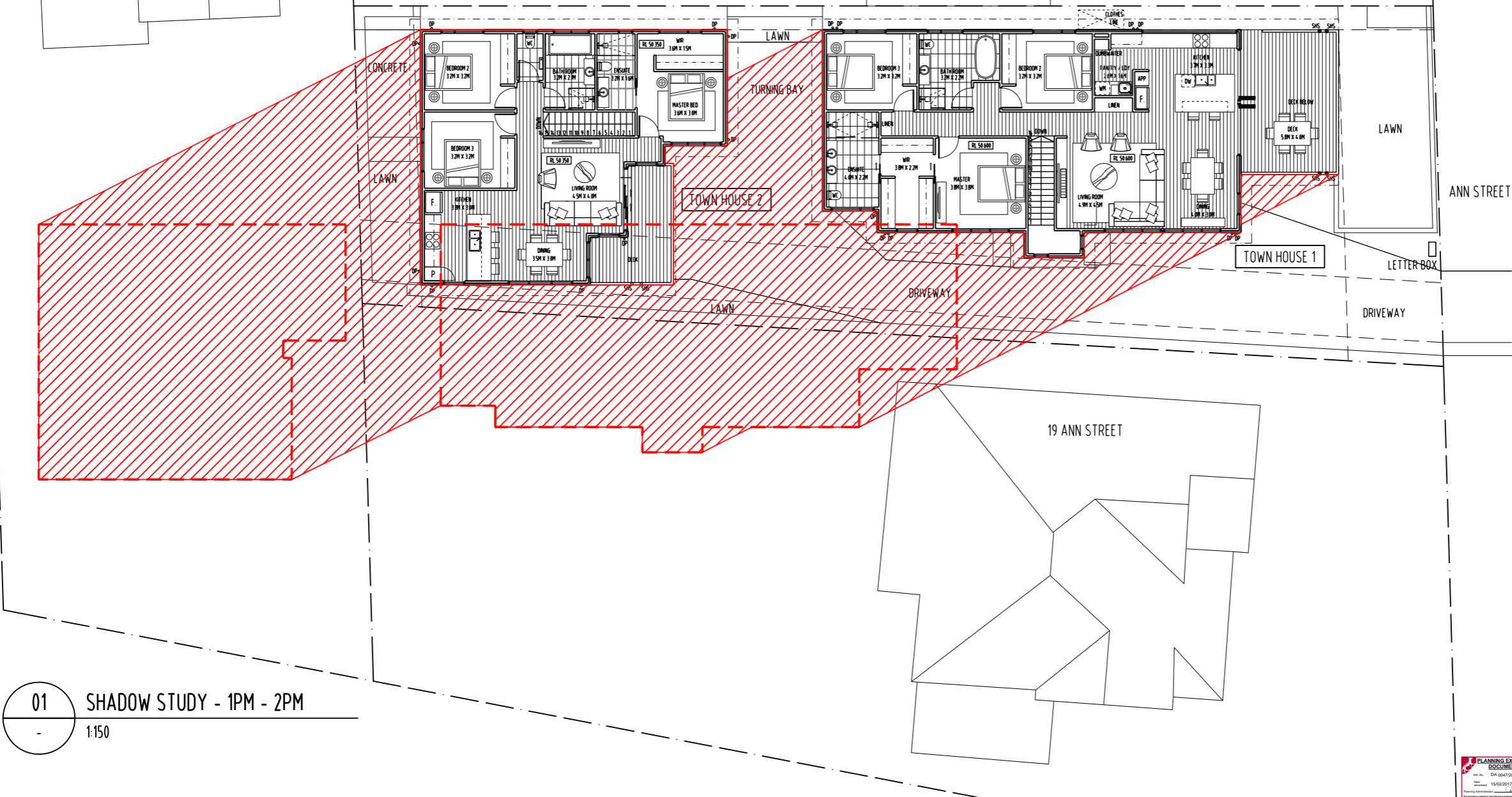
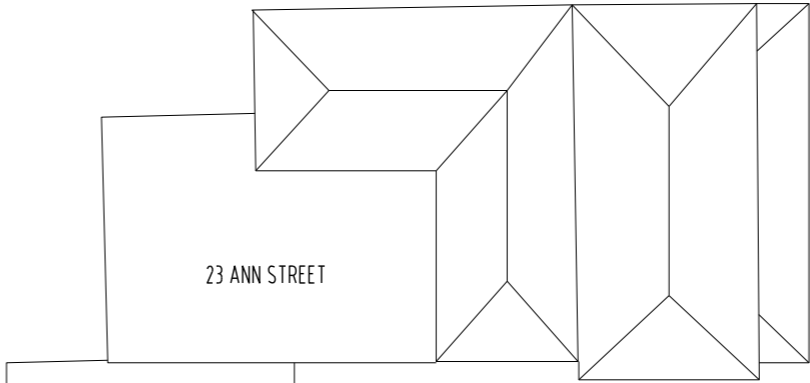
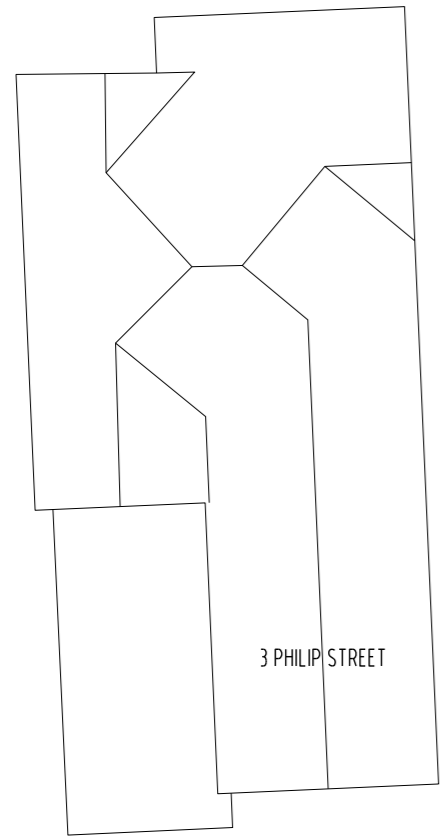
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
SHADOW STUDY DIAGRAM
1PM - 2PM

DRAWN: MB
CHECKED: MB
SCALE: NTS@A3
DATE: OCTOBER_2016
PROJECT NO: 1625
DRAWING NO: A-DA-24 A



01 SHADOW STUDY - 1PM - 2PM
1:150



REVISION		BYCHECK
No	DATE DESCRIPTION	
A	07.02.17 DEVELOPMENT APPLICATION	mb mb

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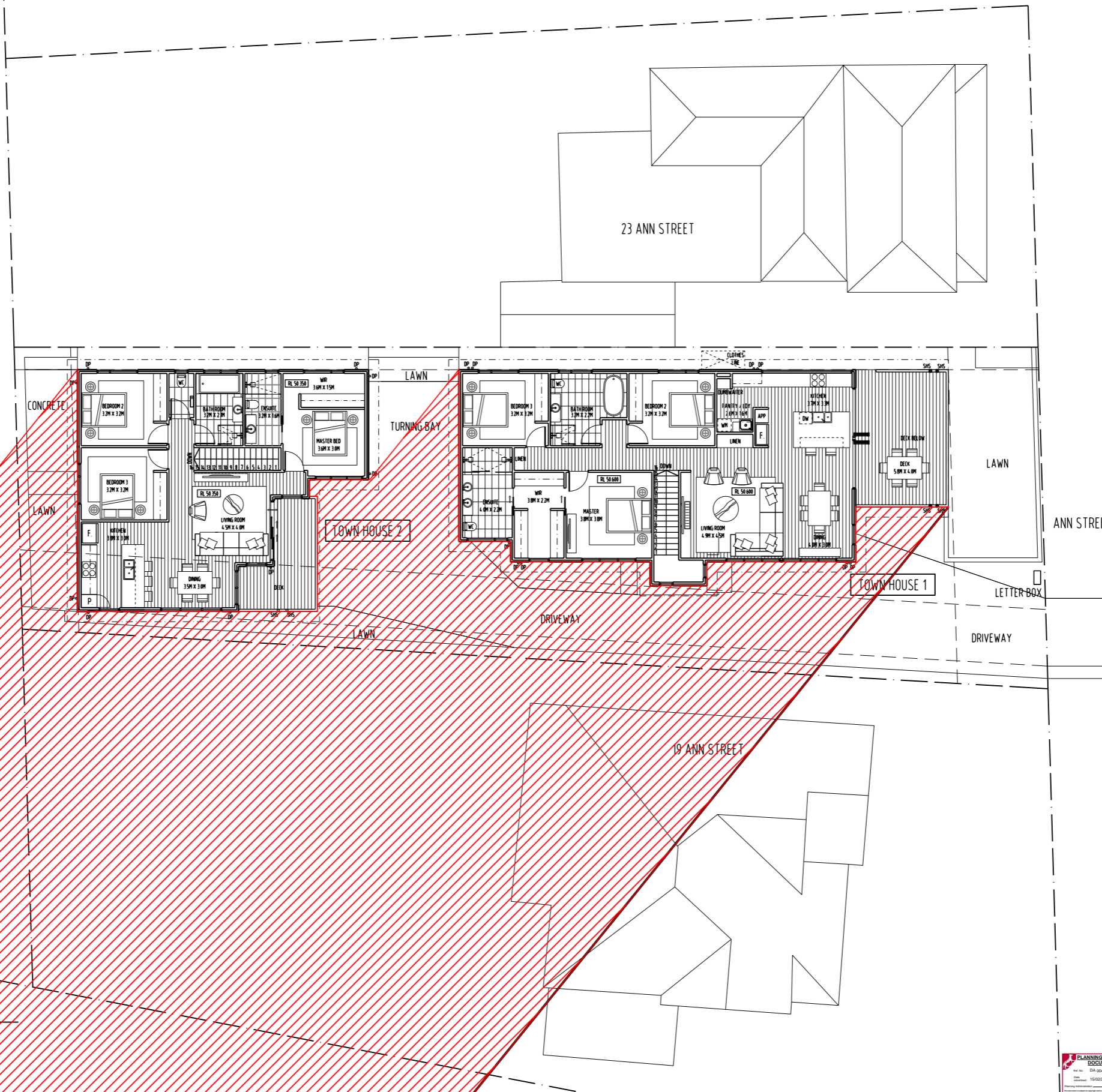
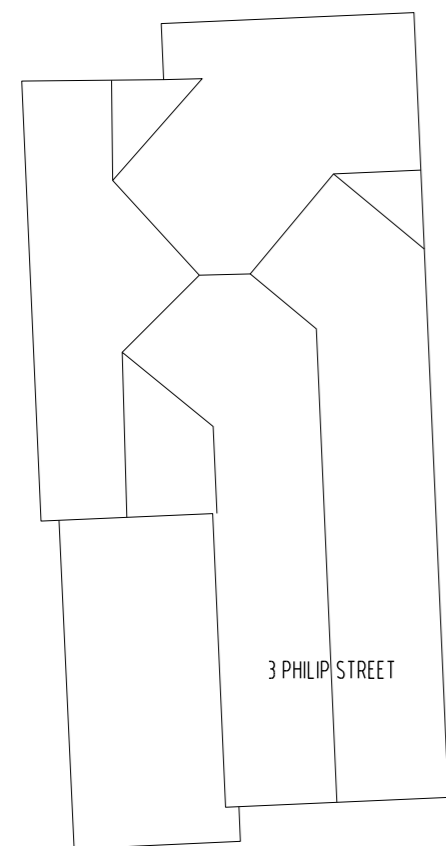
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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
SHADOW STUDY DIAGRAM
3PM - 4PM

DRAWN: MB
CHECKED: MB

SCALE: NTS @ A3
DATE: OCTOBER_2016
PROJECT NO. 1625
DRAWING NO. A-DA-25 A



01 SHADOW STUDY - 3PM - 4PM
1:150





REVISION		BYCHECK
No	DATE DESCRIPTION	mb mb
A	07.02.17 DEVELOPMENT APPLICATION	

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PROJECT NAME:
PRIVATE TOWN HOUSES
21 ANN STREET
EAST LAUNCESTON, TASMANIA

DRAWING TITLE:
SHADOW STUDY DIAGRAM
4:48PM - SUNSET

DRAWN: MB

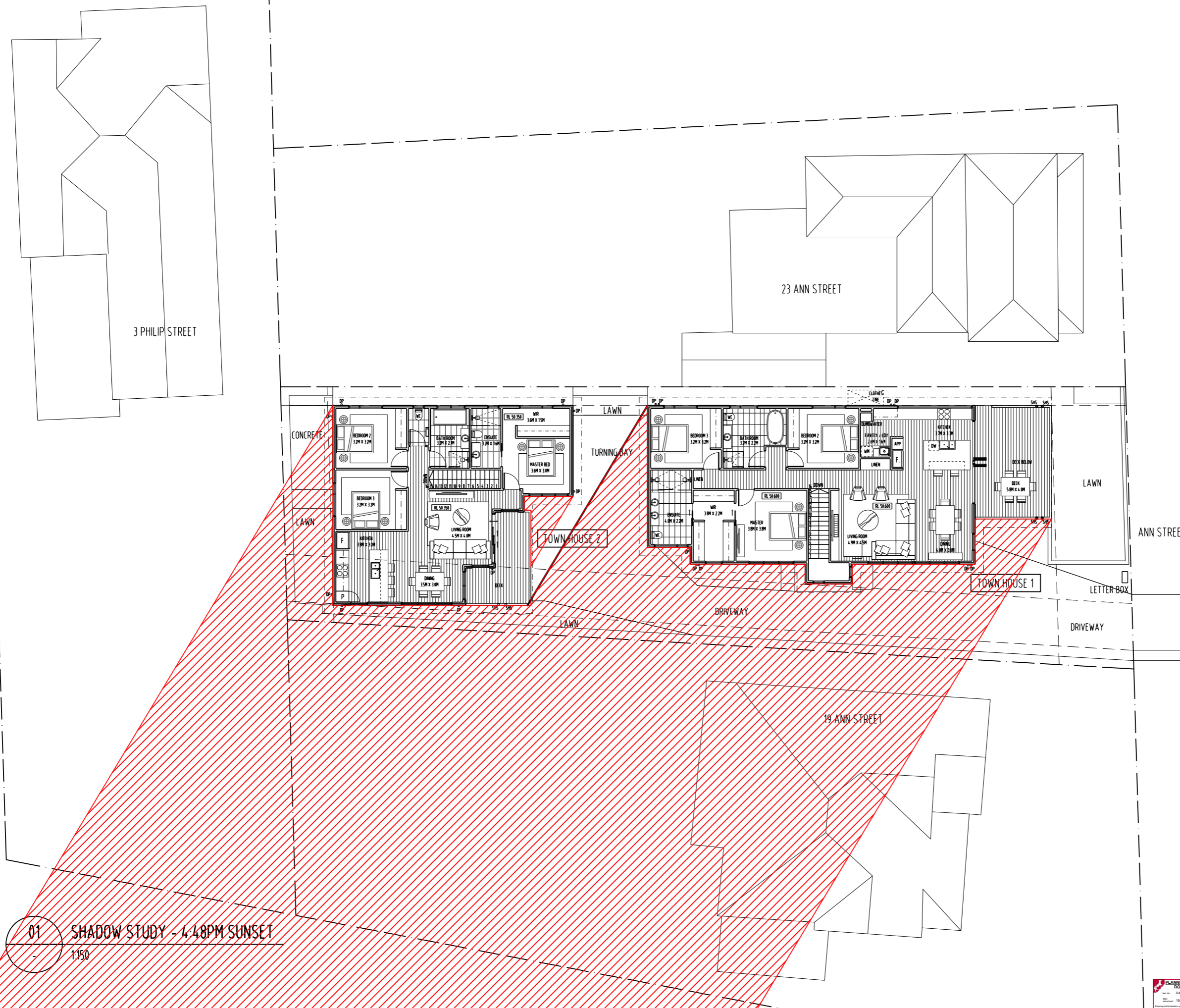
CHECKED: MB

SCALE: NTS @ A3

DATE: OCTOBER 2016

PROJECT NO. 1625

DRAWING NO. A-DA-26 A



01 SHADOW STUDY - 4:48PM SUNSET
1:150

7th February 2017

Michael Bernacki / **HONED** Architecture + Design
Registered Architect
PO Box 147 Launceston
Tasmania Australia 7250
Mobile: 0417541646
Email: mbernacki@honedarchitecture.com

Launceston City Council
Town Hall
Launceston
Tasmania, 7250

Attention: Planning Department

Subject:

Development Application for multiple dwellings located at 21 Ann Street, East Launceston
This letter outlines and addresses the relevant / applicable codes for this development.

To whom it May Concern:

Overview: This site is zoned Inner Residential and we are proposing 2 multiple dwellings on this lot. These proposed residences have been designed to take full advantage of their location, site parameters, view opportunities, natural light, site conditions, minimal site excavations and being considerate of its neighbors.

Currently 21 Ann street is a tired original dwelling and we propose to demolish this residence as part of our proposed development. 21 Ann street is an orange brick facade dwelling that does not draw similarities to its East Launceston weather board neighbors and residences in the surrounding streetscape. Our proposed design is designed to blend into the existing streetscape and surrounding neighborhood.

This Document outlines and addresses the relevant planning standards and should be cross referenced with Honed Architecture + Design drawings attached.

Response to Planning Requirements:

11.0 Inner Residential Zone

11.1 Zone Purpose

11.1.1 Zone Purpose Statements

11.1.1.1

To provide for a variety of residential uses and dwelling types close to services and facilities in inner urban and historically established areas, which uses and types respect the existing variation and pattern in lot sizes, set back, and height.

11.1.1.2

To provide for compatible non-residential uses that primarily serve the local community.

11.1.1.3

To allow increased residential densities where it does not significantly affect the existing residential amenity, ensure appropriate location of parking, and maintain vehicle and pedestrian traffic safety.

11.1.1.4



To maintain and develop residential uses and ensure that non-residential uses do not displace or dominate residential uses.

11.1.1.5

To provide for development that provides a high standard of amenity and contributes to the streetscape.

Use Table 11.2

Multiple dwellings are Discretionary within the Inner Residential Zone. The site is within close proximity to shops, services and within walking distance to Launceston's CBD.

11.4.7 Site coverage

Objective: To:	
(a) ensure that the site coverage of residential development and ancillary buildings respects the character of the surrounding area;	
(b) reduce the impact of increased stormwater runoff on the drainage system; and	
(c) provide for landscaping and private open space.	
Acceptable Solution	Compliance
A1.1 Site coverage must be no greater than 60%; and A1.2 No less than 25% of the site must be pervious to rainfall.	A1 The site coverage is 45% and 32% of the site is pervious to rainfall.

11.4.8 Building height

Objective: To ensure that the building height respects the character of the surrounding area.	
Acceptable Solution	Compliance
A1 Building height must be no greater than 9m.	A1 Townhouse 1 has a maximum height of 7.35m and Townhouse 2 has a maximum height of 7.6m.

11.4.9 Frontage setbacks

Objective: To ensure that the setbacks from a frontage respect the character of the surrounding area.	
Acceptable Solution	Compliance
A1.1 The primary frontage setback must be no less than: (a) 4m or (b) for infill lots, within the range of the frontage setbacks of buildings on adjoining lots, indicated by the hatched section in the Figure 11.4.9 below; and A1.2 Setback from a frontage other than a primary frontage must be no less than 3m; and A1.3 Porches, pergolas, verandas, that are less than 3.6m high and eaves may encroach no	A1.1 Townhouse 1 is to be setback 4m from the primary frontage. The setback is also within the existing setbacks of the neighbouring properties. A1.2 N/A. A1.3 The terrace roof is setback 4m front the frontage.



greater than 1.5m into the setbacks of this standard.

11.4.10 Rear and side setbacks

Objective:

To ensure that the setbacks are compatible with the character of the surrounding area and minimise the impacts on the amenity and solar access of adjoining dwellings.

Acceptable Solution	Performance Criteria	Compliance
<p>A1 Buildings must be set back from the rear boundary no less than 2.5m.</p> <p>A2 Buildings must be set back from side boundaries no less than: (a) for lots 1,000m² or less, 1m, plus 0.3m for every metre of building height over 3.6m up to 6.9m, plus 1m for every metre of height over 6.9m; or (b) for lots greater than 1,000m², 2.0m, plus 0.3m for every metre of building height over 3.6m up to 6.9m, plus 1m for every metre of height over 6.9m.</p>	<p>P2 Building setback to the rear boundary must be appropriate to the location, having regard to: (a) the ability to provide adequate private open space; (b) the character of the area and location of buildings on adjoining lots; (c) the impact on the amenity, solar access and privacy of habitable rooms, windows, and private open space of nearby or adjoining buildings; and (d) the size, shape and orientation of the lot.</p>	<p>A1 Townhouse 2 is setback 2.5m from the rear boundary.</p> <p>P2 Townhouse 1 is generally in compliance with the building envelope with only the eave projecting outside. A small area along the eastern and western elevation is located outside the building envelope.</p> <p>Shadow diagrams demonstrate that no significant overshadowing of habitable rooms for more than 3 hours a day and does not reduce sunlight to private open space by more than 50%</p>

11.4.11 Walls on boundaries

Objective:

To ensure that the location, length and height of a wall on a boundary:

- (a) is compatible with the character of the area; and
- (b) minimises the impact on the amenity of adjoining sensitive uses.

Acceptable Solution	Compliance

<p>A1.1 The length of walls constructed on or within 150mm of a side or rear boundary must: (a) abut the boundary for a length no greater than 10m; or (b) where there are existing or simultaneously constructed walls or carports abutting the boundary on an adjoining lot, not exceed the length of those walls or carports; whichever is the greater.</p>	<p>A1.1 N/A. There are no walls within 150mm of a side or rear boundary.</p>
<p>A1.2 The height of walls constructed on or within 150mm of a side or rear boundary or a carport constructed on or within 1m of a side or rear boundary must have: (a) an average height no greater than 3m; and (b) a height of no greater than 3.6m unless the wall abuts an existing or simultaneously constructed wall with a greater height.</p>	<p>A1.2 N/A There are no walls within 150mm of a side or rear boundary.</p>

11.4.12 Location of car parking

<p>Objective: To: (a) provide convenient car parking for residents and visitors; (b) protect residents from vehicular noise within sites; and (c) minimise visual impact on the streetscape.</p>		
Acceptable Solution	Performance Criteria	Compliance
<p>A1 Shared driveways or car parks of residential buildings must be located no less than 1.5m from the windows of habitable rooms.</p>	<p>P1 Shared driveways or car parking spaces must be located to not unreasonably impact on the amenity of the adjoining habitable rooms, having regard to: (a) the width of the driveway; (b) the location of the existing dwellings and habitable rooms; (c) the location of car spaces; (d) the number of car spaces served by the driveway; and (e) any noise mitigation measures including screening or landscaping</p>	<p>P1 The driveway is located within 1.5m of a habitable room window, however due to the habitable rooms being located above ground floor there will be no impacts on the amenity of the residents.</p>
<p>A2.1 Car parking must not be located in the primary front setback, unless it is a tandem car parking space in a driveway located within</p>		<p>A2.1 There is no car parking located within the primary front setback.</p>

the setback from the frontage.		
A2.2 Turning areas for vehicles must not be located within the primary front setback.		A2.2 There are no turning areas located within the primary front setback.
A3 A garage or carport must be: (a) within 10m of the dwelling it serves; and (b) located no less than 5.5m from a frontage; or (c) with a setback equal to or greater than the setback of the dwelling to the frontage; or (d) in line with or behind the front building line of the dwelling, if the dwelling is facing an internal driveway.		A3 The garages are within 10m of each dwelling. The garage to Townhouse 1 is setback 4m which is equal to the setback of the dwelling.
A4 (a) The total width of the door or doors on a garage facing a frontage must be no wider than 6m; or (b) the garage must be located within the rear half of the lot when measured from the frontage.		A4 The garage to Townhouse 1 does not face the frontage. The garage to Townhouse 2 is within the rear half of the lot.

11.4.13 Overlooking

Objective: To minimise: (a) overlooking into private open space and habitable room windows; and (b) the impact on the amenity of the adjoining and the subject site.		
Acceptable Solution		Compliance
A1.1 A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window or private open space of dwellings within a horizontal distance of 9m (measured at ground level) of the window, balcony, terrace, deck or patio must: (a) be offset no less than 1.5m from the edge of one window to the edge of the other; or (b) have sill heights no less than 1.7m above floor level; or (c) have fixed, obscure glazing in any part of the		A1.1 The existing dwelling at 23 Ann Street is situated at a higher elevation than the proposed townhouses and the habitable room windows are not within a horizontal plane. Again the dwelling located at 19 Ann Street is situated on a lower elevation and the habitable room windows of the proposed townhouses will project to the roof of this dwelling and therefore the windows or private open space are not within a horizontal plane.

<p>window less than 1.7m above floor level; or</p> <p>(d) have permanently fixed external screens to no less than 1.7m above floor level; and</p> <p>(e) have obscure glazing and screens must be no greater than 25% transparent; or</p>		
<p>A1.2 New habitable room windows, balconies, terraces, decks or patio's that face a property boundary at ground level must have a visual barrier no less than 1.8m high.</p>		<p>A1.2 New 1.8m high fences are proposed along the side boundaries.</p>

11.4.14 North-facing windows

<p>Objective: To allow adequate solar access to existing north-facing <u>habitable room</u> windows.</p>	
Acceptable Solution	Compliance
<p>A1 If a north-facing habitable room window of an existing dwelling is within 3.0m of a boundary on an abutting lot, a building must be set back from the boundary no less than 1m, plus 0.6m for every metre of height over 3.6m up to 6.9m, plus 1m for every metre of height over 6.9m for a distance of 3m from the edge of each side of the window as indicated in Figure 11.4.14</p>	<p>A1 North is orientated to the street frontage and therefore this provision is not applicable.</p>

11.4.15 Daylight to windows

<p>Objective: To allow adequate daylight into <u>habitable room</u> windows.</p>	
Acceptable Solution	Compliance
<p>A1 Where the minimum distance between: (a) a new window in a habitable room and an existing building; or (b) a new building constructed directly opposite an existing habitable room window, is less than 3.0m, a light court with an area of no less than 3m²</p>	<p>A1 There are no existing buildings located directly north of the proposed development.</p>

11.4.16 Density control of multiple dwellings

<p>Objective: To ensure that multiple dwellings and other forms of residential development are interspersed with single dwellings in a manner that ensures that single dwellings remain the primary form of dwellings in a road and the surrounding area.</p>		
Acceptable Solution	Performance Criteria	Compliance
<p>A1 Multiple dwellings must have</p>	<p>P1 Multiple dwellings must not</p>	<p>The site area is 626m² which provides a site area per</p>



<p>a site area per dwelling of no less than 350m².</p>	<p>detract from the character of the surrounding area, having regard to:</p> <p>(a) the character of the streetscape;</p> <p>(b) the density of dwellings in the surrounding area;</p> <p>(c) the proximity of multiple dwellings on nearby sites; and</p> <p>(d) the proximity to public transport routes and services; and</p> <p>must have a site area per dwelling of not less than 250m².</p>	<p>dwelling of 313m². The site is 180m to the shops on the corner of High Street and Ann Street, 350m to Alps and Amici and 1km to the CBD. There is a bus route on High Street and Abbott Street which is a short walk from the subject site. There are currently no multiple dwellings within this section of Ann Street and therefore this proposal to develop the site with two multiple dwellings will not change the character of the area and single dwellings will remain the primary form of dwelling in the area.</p>
<p>A2 Dwellings must have a density no greater than 40% by lot number, of the number of lots on land zoned Inner Residential along the road to which the site has frontage.</p>		<p>A2 There are currently no multiple dwellings located within this section of Ann Street.</p>

11.4.17 Private open space for multiple dwellings

<p>Objective: To provide adequate and useable private open space for the needs of residents.</p>	
<p>Acceptable Solution</p>	<p>Compliance</p>
<p>A1.2 Where all bedrooms and living areas in a multiple dwelling are above ground floor, each multiple dwelling must have private open space, with direct access from a habitable room other than a bedroom, of:</p> <p>(a) a balcony of 8m² with a minimum dimension of 2m²; or</p> <p>(b) a roof-top area of 10m² with a minimum width of 2m².</p>	<p>A1.2 Townhouse 1 and 2 consists of all bedroom and living areas above ground floor. Townhouse 1 has an area of private open space of 32m² which is accessed directly from kitchen/dining area. Townhouse 2 has an area of 13m² which is accessed from the living area.</p>
<p>A2 The southern boundary of private open space must be set back from any wall 2m high or greater on the north of the space, no less than (2m + 0.9h) metres, where 'h' is the height of the wall as indicated in Figure 11.4.17.</p>	<p>A2 Both townhouses have private open space which is adequately setback from a southern wall to meet the acceptable solution.</p>

11.4.18 Site facilities for multiple dwellings

<p>Objective: To provide adequate site and storage facilities for multiple dwellings.</p>	
<p>Acceptable Solution</p>	<p>Compliance</p>
<p>A1 Each multiple dwelling must have access to 6 cubic metres of secure storage space not located between the primary frontage and the facade of a dwelling.</p>	<p>A1 Each townhouse has been provided with more than 6 cubic metres of storage located on the ground floor of the dwelling</p>
<p>A2 Mailboxes must be provided at the frontage.</p>	<p>A2 Mailboxes have been provided at the frontage.</p>

A3 No less than 2m ² per dwelling must be provided for bin and recycling enclosures and be located behind a screening fence of no less than 1.2m.	A3 Each townhouse has bin storage located behind the dwelling and screened from the street frontage.
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11.4.19 Common property for multiple dwellings

Objective: To ensure that common areas are easily identified.	
Acceptable Solution	Compliance
A1 Site drawings must clearly delineate private and common areas, including: (a) driveways; (b) parking, including visitor parking; (c) landscaping and gardens; (d) mailboxes; and (e) storage for waste and recycling bins.	A1 Strata Title Plan details private and common areas to comply with the acceptable solution.

11.4.20 Streetscape integration and appearance

Objective: To: (a) integrate the layout and form of residential development with the road; and (b) promote passive surveillance; and (c) enhance streetscapes.		
Acceptable Solution	Performance Criteria	Compliance
A1 Dwellings, other than outbuildings, must: (a) have a front door and a window to a habitable room in the wall that faces a road; or (b) if not immediately adjacent to a road, face an internal driveway or common open space area.	N/A.	A1 Townhouse 1 has a front door that faces the road and the window of the level 2 dining area is also facing the road. Townhouse 2 which is located at the rear of the site has the front door and habitable room window that face an internal driveway.
A2 Dwellings, other than outbuildings, must provide a porch, shelter, awning, recess, or similar architectural feature that identifies and provides shade and weather protection to the front door.	N/A.	A2 Both townhouses have an architectural feature that provides shade and weather protection to the front door.
A3 The height of fences on and within 4.5m of a frontage must be no higher than: (a) 1.2m if solid; or (b) 1.8m, provided that the part of the fence above 1.2m has openings which provide no less than 50% transparency.	P3 Fences on and within 4.5m of a frontage must be designed to: (a) provide for security and privacy of residents while allowing for mutual passive surveillance of the road; (b) take account of the prevailing height, design and	P3 Due to the slope of the site and the need to provide a levelled open space area at the front of Townhouse 1 a retaining wall is proposed which ranges from a height of 375mm to 1.8m. A 1.2m high timber picket fence is proposed on top of the

	character of neighbouring fences; (c) attenuate noise from high volume traffic; (d) take account of steep slope or other topographical constraints; and (e) have regard to streetscape.	retaining wall to provide privacy and is also consistent with the character of the area. The transparency of the picket fence will ensure that passive surveillance of the road can be provided.
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11.4.21 Outbuildings and swimming pools

N/A.

11.4.22 Earthworks and retaining walls

Objective: To ensure that earthworks and retaining walls are appropriate to the site and respect the amenity of adjoining lots.		
Acceptable Solution	Performance Criteria	Compliance
A1 Earthworks and retaining walls requiring cut or fill more than 600mm below or above existing ground level must: (a) be located no less than 900mm from each lot boundary; (b) be no higher than 1m (including the height of any batters) above existing ground level; (c) not require cut or fill more than 1m below or above existing ground level; (d) not concentrate the flow of surface water onto an adjoining lot; and (e) be located no less than 1m from any registered easement, sewer main or water main or stormwater drain.	P1 Earthworks and retaining walls must be designed and located so as not to have an unreasonable impact on the amenity of adjoining lots, having regard to: (a) the topography of the site; (b) the appearance, scale and extent of the works; (c) overlooking and overshadowing of adjoining lots; (d) the type of construction of the works; (e) the need for the works; (f) any impact on adjoining structures; (g) the management of groundwater and stormwater; and (h) the potential for loss of topsoil or soil erosion.	P1 Due to the slope of the site a number of retaining walls are required for the development which will result in the townhouses being sited lower on the site which will prevent any overlooking of an adjoining lot. The retaining walls will be engineered and appropriately manage soil, groundwater and stormwater.

E6.0 Parking and Sustainable Transport Code

A double garage has been provided for each townhouse. A visitor car parking space has not been provided on the site, however the development is only for two multiple dwellings and there is adequate on street parking within the area to cater for visitors to the site. Adequate turning areas are provided for each dwelling. The driveways will be constructed with a concrete finish and appropriately drained.



I trust that the contents of this letter and the attached Development Application is satisfactory and does address the Launceston City Council requirements for 21 Ann Street, East Launceston. If you require any further information or clarification, please do not hesitate to contact myself.

Thank you once again.
Kind Regards

A handwritten signature in black ink that reads "Michael Bernacki". The signature is written in a cursive, slightly slanted style.

Michael Bernacki / Honed Architecture + Design.