



GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - ?? REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH 3959.

PRELIMINARY DRAFT

SITE PLAN

1 : 200

LOT No.	LOT AREA	50%	25%
613	306	153	



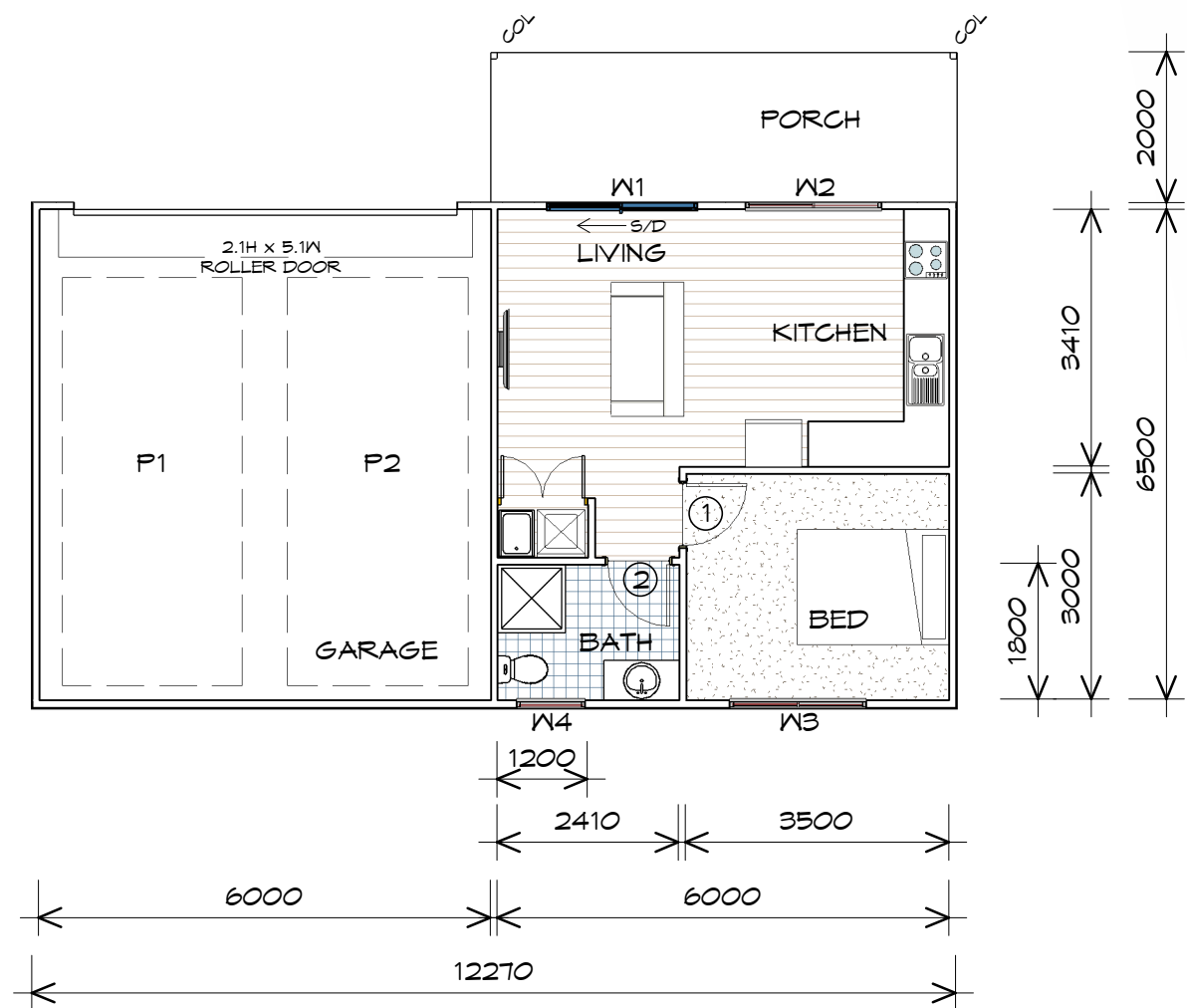
10 Goodman Court, Invermay Tasmania 7248,
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 info@primedesigntas.com.au primedesigntas.com.au
 Accredited building practitioner: Frank Geskus No CC246A

Project:
PROPOSED ANCILLARY DWELLING
 15 LAMONT STREET
 INVERMAY
 Client name:
DB INVESTMENTS
 Drafted by: E.R.G. Approved By: F.G.G.



Drawing:
SITE PLAN
 Date: 21/05/2018 Scale: 1 : 200
 Project/Drawing No: PD18119 01 Revision: 03

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



LEGEND

- S/D SLIDING DOOR
- COL COLUMN
- P1 PARKING SPACE 1
- P2 PARKING SPACE 2

ANCILLARY ADDITION - DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	INTERNAL TIMBER DOOR	
2	820	INTERNAL TIMBER DOOR	

ANCILLARY ADDITION - WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2100	2000	SLIDING DOOR	
W2	1200	1810	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	600	910	AWNING WINDOW	

ALUMINIUM AWNING WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

FLOOR PLAN

1 : 100

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

NEW ANCILLARY ADDITION AREA	41.34	m ²	(4.45 SQUARES)
NEW GARAGE AREA	41.34	m ²	(4.45 SQUARES)
TOTAL FLOOR AREA	82.69	m²	(8.89 SQUARES)



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Drawing:
PROPOSED ANCILLARY ADDITION

Drafted by: **E.R.G.** Approved by: **F.G.G.**
 Date: **21/05/2018** Scale: **1 : 100**

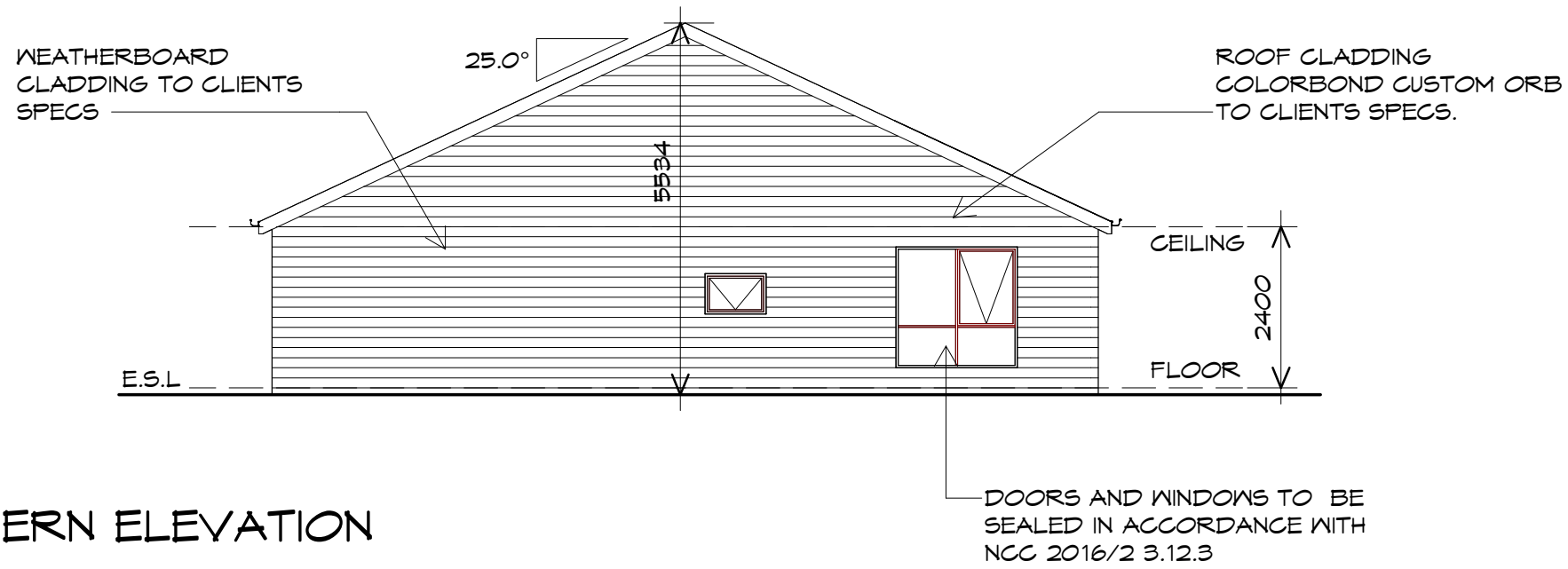
Project/Drawing no: **PD18119 02** Revision: **03**



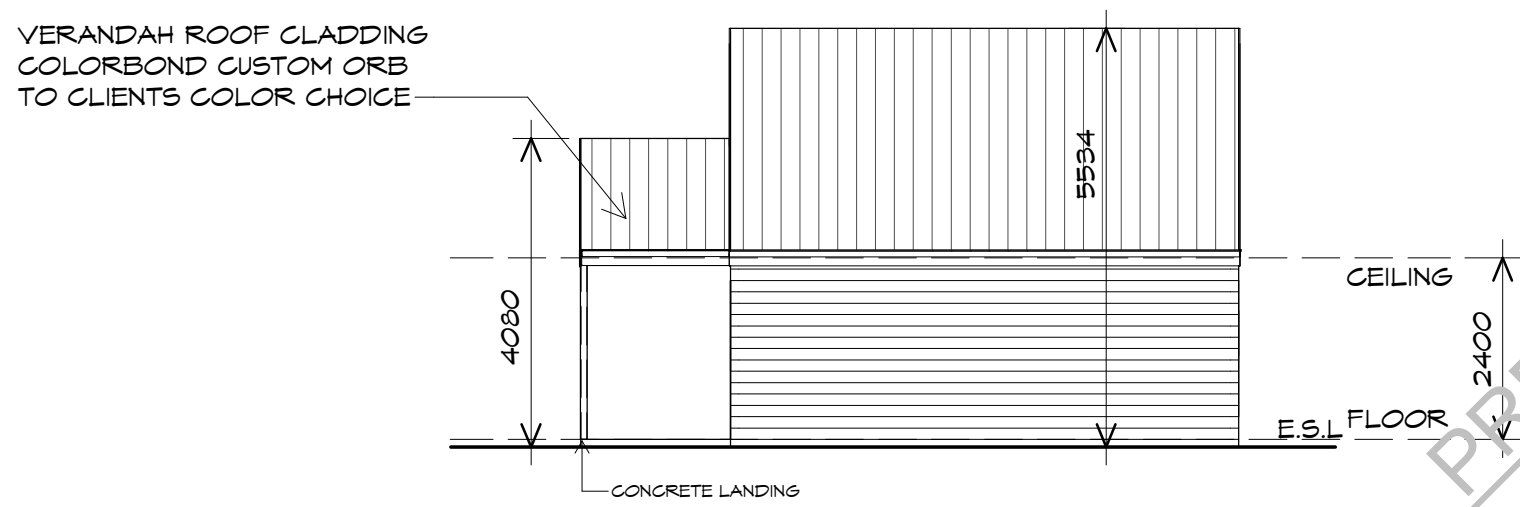
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PRELIMINARY PRINT



NORTHERN ELEVATION
 1 : 100



EASTERN ELEVATION
 1 : 100

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PRELIMINARY PRINT



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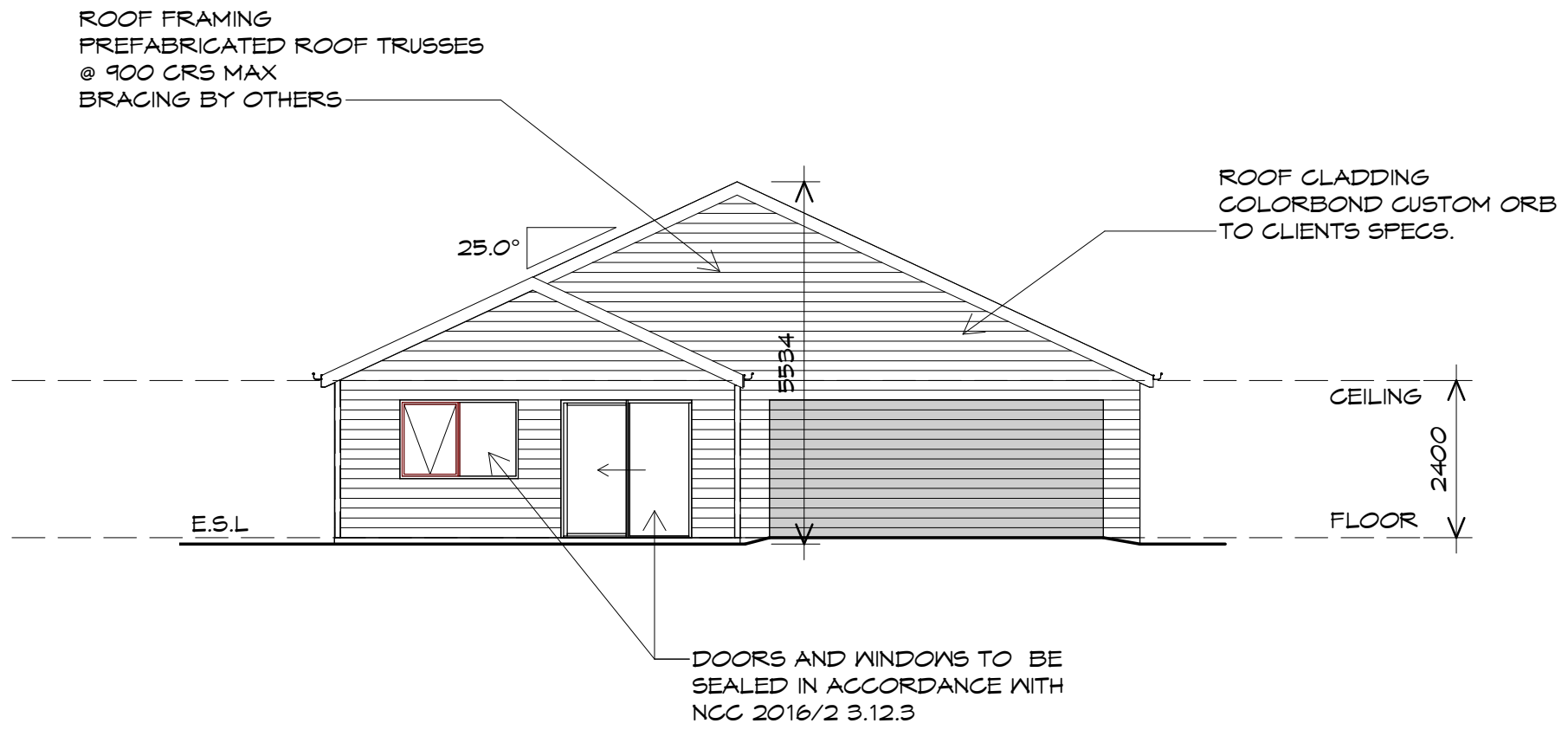
Drawing:
ELEVATIONS

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Date: 21/05/2018	Scale: 1 : 100

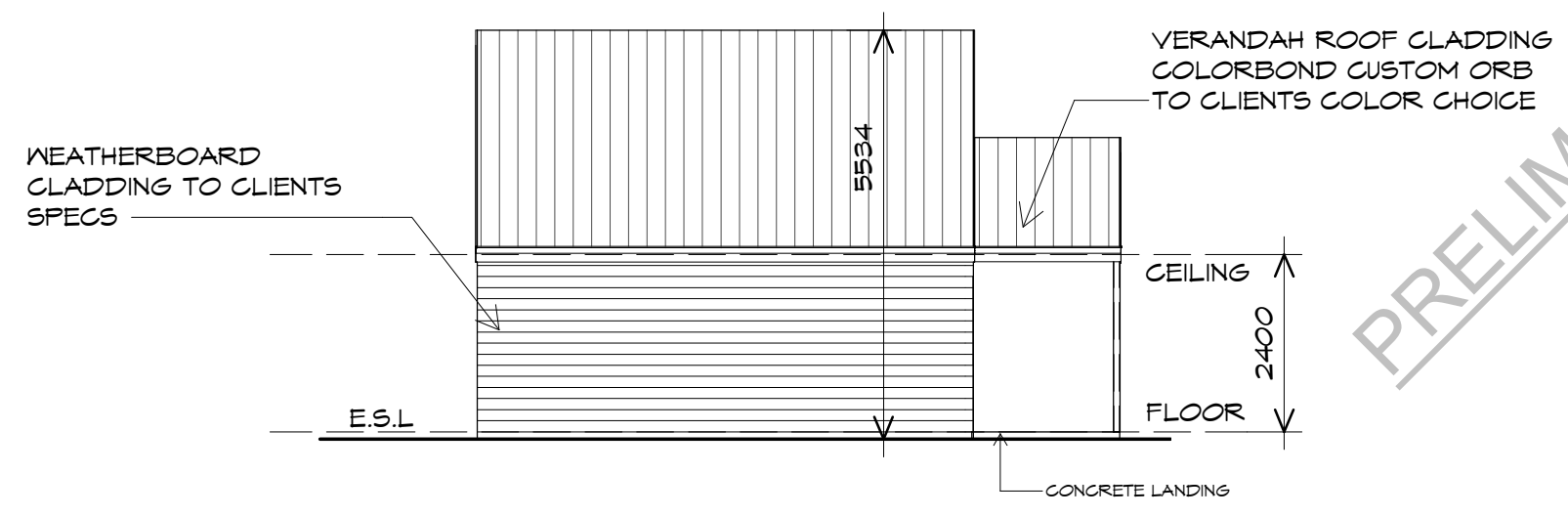
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SOUTHERN ELEVATION
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WESTERN ELEVATION
 1 : 100

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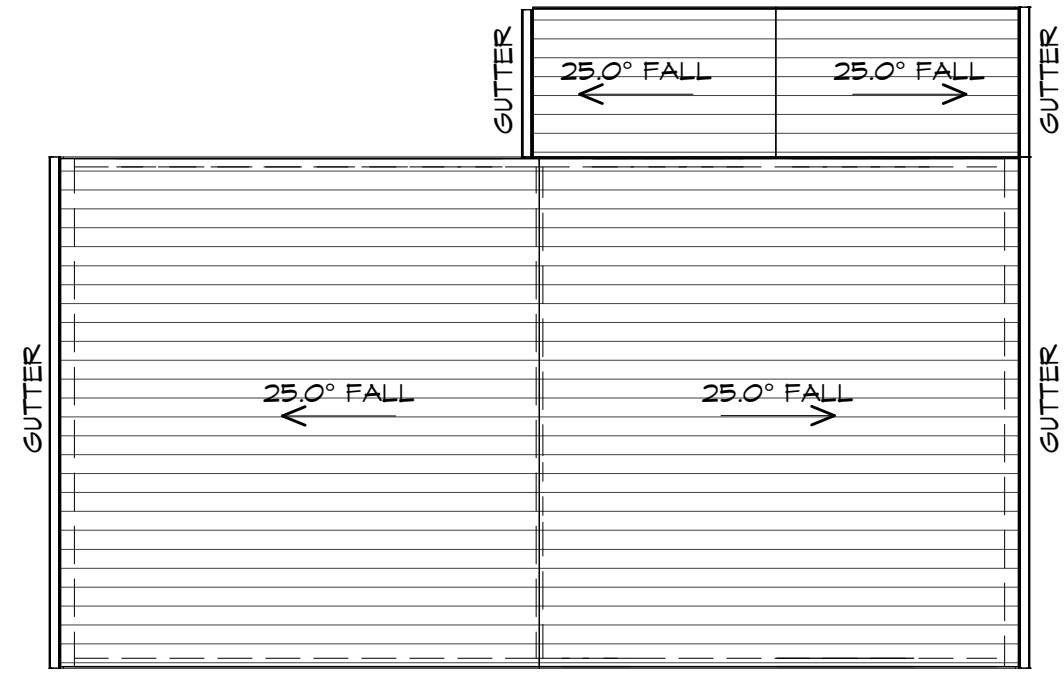
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ROOF PLAN
 1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 NCC 2016 PART 3.5.2.4.
 WITH FALL NO LESS THAN
 1:100 FOR BOX GUTTERS
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P'S
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH NCC CLAUSE 3.5.2.5 REQUIREMENTS.
 SPACING BETWEEN DOWNPIPES MUST NOT
 BE MORE THAN 12m & WITHIN 1.2m FROM A
 VALLEY GUTTER.

ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL SHEETING ROOF TO BE INSTALLED IN
 ACCORDANCE WITH NCC 2016 3.5.1.3.
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
 CORROSION PROTECTION FOR SHEET ROOFING,
 REFER TO TABLE 3.5.1.2 FOR ACCEPTABILITY OF
 CONTACT BETWEEN DIFFERENT ROOFING
 MATERIALS.
 REFER TO NCC 2016 3.5.1.3. FOR FIXING, SHEET
 LAYING SEQUENCE, FASTENER FREQUENCY FOR
 TRANVERSE FLASHINGS AND CAPPINGS, ANTI
 CAPILLARY BREAKS, FLASHING DETAILS.
 ROOF PENETRATION FLASHING DETAILS.

PLANNING
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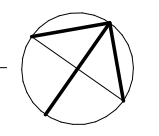


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