

18/6/2018!

Council Agenda - Agenda Item 8.2

Attachment 5 - Representations - 15 Lamont Street Invermay

Proposed Ancillary Dwelling

15 Lamont St

Invermay

Application: DA NO: DA0276/2018

Date of notice: 09/06/2018

Written response to the General Manager:

My concerns and reasonable objections

From Skye Jill Edwards



FILE No.	DA0276/2018				
EO		OD	<input checked="" type="checkbox"/>	Box	<input checked="" type="checkbox"/>
RCV'D		20 JUN 2018		LCC	
Doc No.					
Action Officer		Noted	Replied		
C. W. on more					

E-COPY: L. Rogers

My Objections to proposed dwelling at 15 Lamont St -Invermay

1. Height- blocking views and privacy concerns- eye sore from major living and entertaining areas from my residence. This new dwelling will stop most of my afternoon northerly sun from entering my yard , this will affect my lawns and foliage. See attached photos .I propose that the new dwellings height should not exceed any more than 3 metres from ground levels.
2. An ancillary dwelling is a small , self-contained dwelling located on the same lot as another single house.
3. Proposed dwelling not 4 metres from boundary rear wall
4. Privacy – sky line view – proposed balcony on easterly side of dwellings LOOKS STRAIGHT INTO MY YARD – AND REMOVES ANY PRIVACY AND SAFETY FROM MY RESIDENCE..... NOTE:THIS BALCONY WILL IMPACT THE PRIVACY AND SAFETY ISSUES FROM 4 RESIDENCES NEIGHBOURING THIS PROPOSED DWELLING.
5. If this proposed dwelling is allowed to be constructed it will de-value my property which I have owned since 2004, this is a major concern for me and my privacy.
6. Can the council guarantee that this new dwellings is only used for family members and not to be air B&B , or rented to the public? As per ancillary dwelling restrictions.
7. I propose that there should not be any rear windows or doors from this new dwellings.
8. I propose that the roof colour to be black, the sides of the dwellings to be black as well, and I propose that the roof structure to be flat and not pitched .
9. I would like the existing brick boundary wall to be left in place as it is an integral part of the make up of my rear yard .see attached pictures.
10. I propose that the whole dwelling be moved to the far right hand side of this block. If this dwelling is moved to the this side of the block it will not impact anybody and can be hidden by my rear sheds and foliage .This will need to be at my proposed 3 metre level heights only with a flat roof and all colouring as suggested in point 8.With the proposed balcony, if it is moved to this new position on block is be removed as well.
11. As a resident of this area for over 12 years , I have seen this area changed to a very bright very village like community to be part of , and if the council allows these kind of dwellings to be excepted onto these blocks of land it will take away from the battery Point style of this up and coming area.
12. On collusion , I would just like to say that to allow a 6 metre dwellings to be erected onto this property and in this current position would be absolutely devastating and would impact my life dramatically , and cause me undue stress .

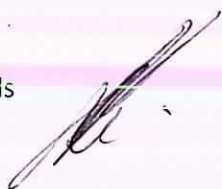
13. Please feel free to come to my address any time and see what impact this new dwelling would have on my residence and a joining neighbours' residences concerns .

14. See all attached photos of the rear of my block

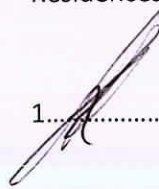
On conclusion thank you for considering my reasonable objections and concerns for the proposed dwellings at 15Lamont St -Invermay. If I am uncontactable for any reasons , please contact Grant Morris on _____ , due to I will be away over seas from the 10th of July to the 2nd of August 2018.

Kind Regards

Miss Skye Jill Edwards



Residences signatures:

1.  Skye Jill Edwards



Ready!!!





This is the proposed dwellings height of 6 metres

This is the height of the balcony

This fence line is 2.4m high

18mm sl.

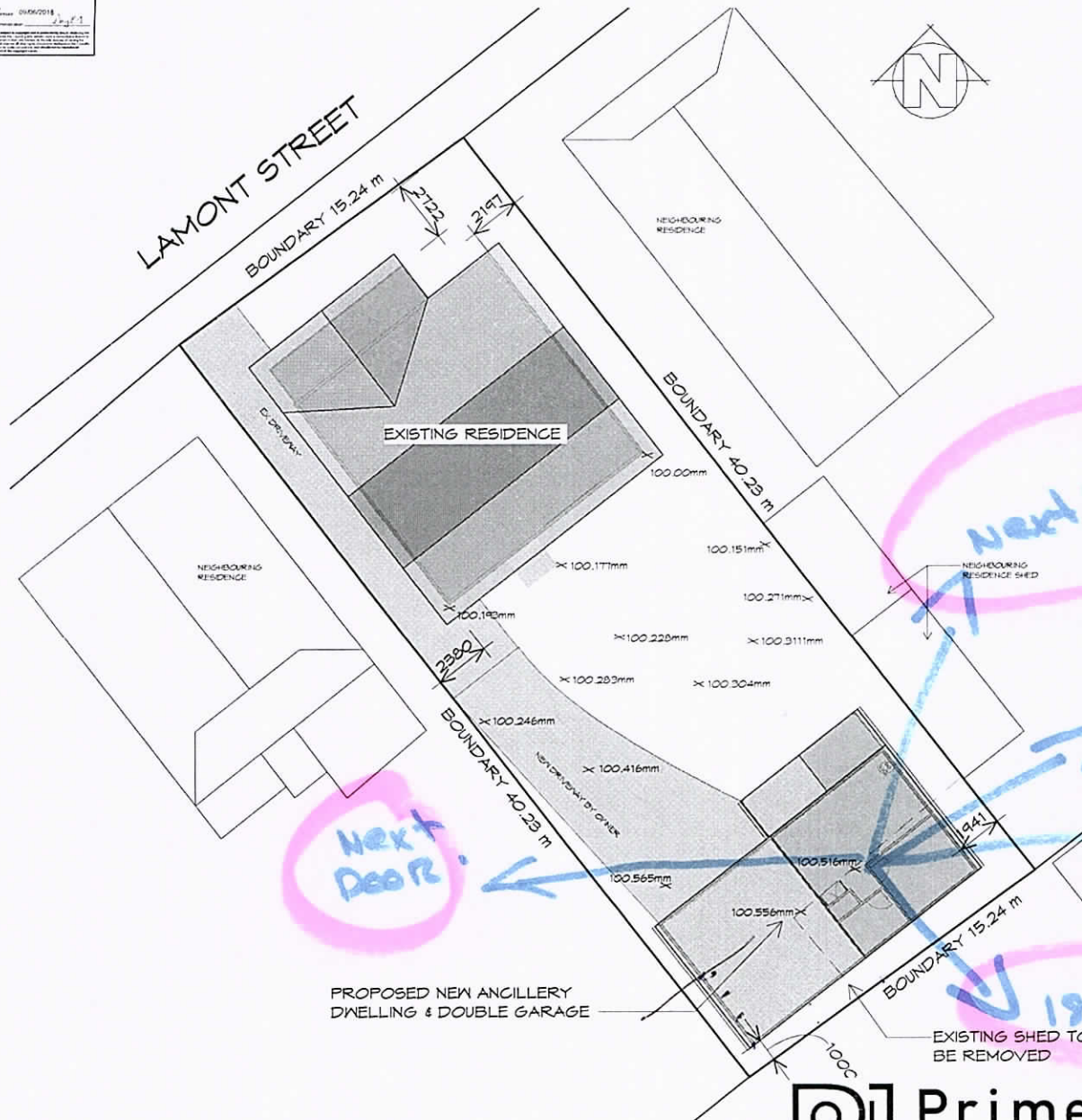


will BLOCK SUN!

18 Main St.



will Block View
Skull in Sun - Kill My Garden



GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF -?? REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH 3959.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Next Door

VIEW INTO 4 Back YARD!

PRELIMINARY PLAN!

20mm gap

19mm gap. NOT ACCEPTABLE! From veranda Roof!

SITE PLAN

1 : 200

LOT No.	LOT AREA	50%	25%
613	306	153	



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 info@primedesigntas.com.au primedesigntas.com.au
 Accredited building practitioner: Frank Giskus No.CC246A

Project: PROPOSED ANCILLARY DWELLING
 15 LAMONT STREET INVERMAY
 Client name: DB INVESTMENTS
 Drafted by: E.R.G. Approved by: F.G.G.

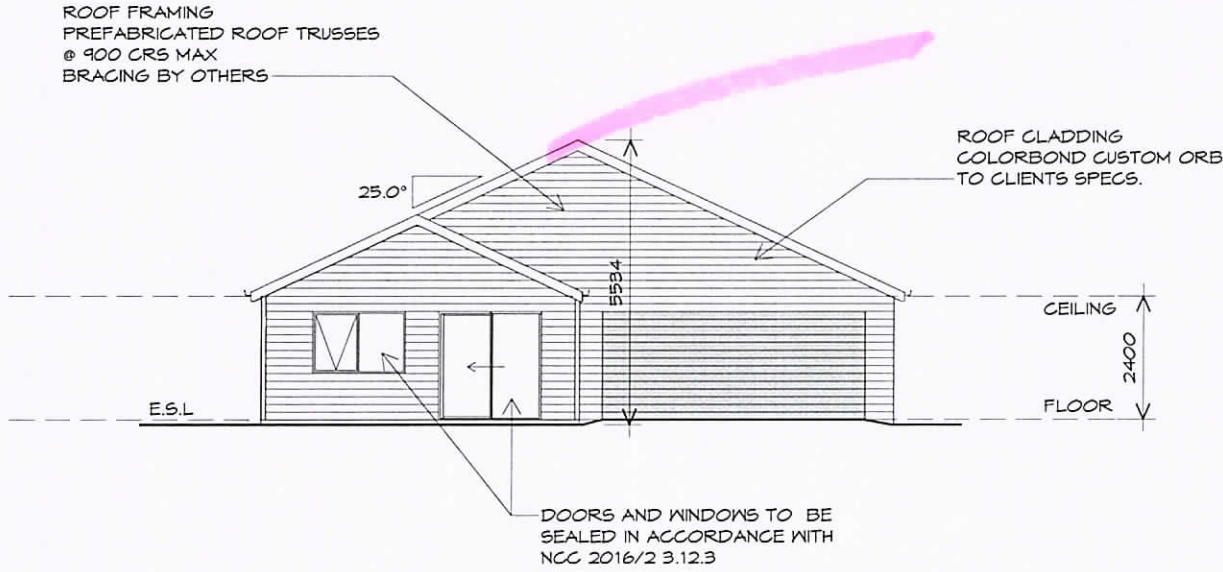
Drawing: SITE PLAN

Date: 21/05/2018 Scale: 1 : 200

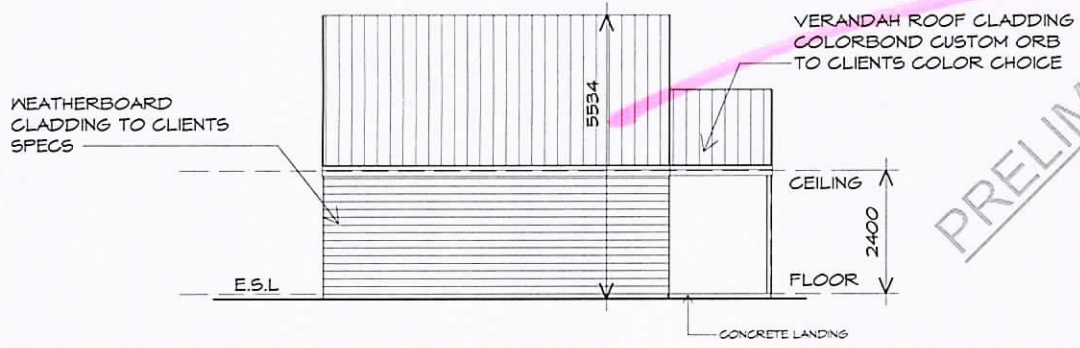
Project/Drawing No: PD18119 01 Revision: 03



Havent Reproduce!



SOUTHERN ELEVATION
 1 : 100



WESTERN ELEVATION
 1 : 100

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

PRELIMINARY PRINT
 (W.A.)



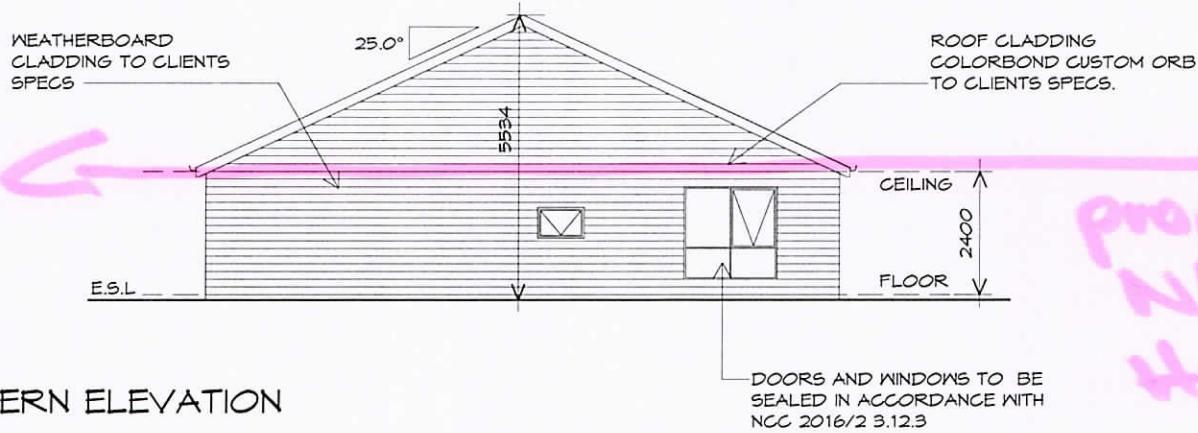
10 Goodman Court, Invermay Tasmania 7248,
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 info@primedesigntas.com.au primedesigntas.com.au

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 INVERMAY
 Client name:
DB INVESTMENTS
 Drawing:
ELEVATIONS

Drafted by: E.R.G. Approved by: F.G.G.
 Date: 21/05/2018 Scale: 1 : 100

Project/Drawing no: PD18119 04 Revision: 03
 Accredited building practitioner: Frank Geskus -No CC246A





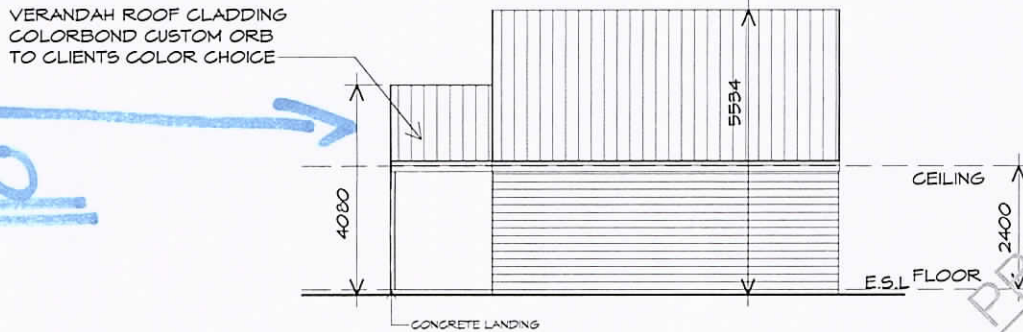
NORTHERN ELEVATION

1 : 100

Proposed New Height!

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



EASTERN ELEVATION

1 : 100

Absent NO

PRELIMINARY PRINT



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Accredited building practitioner: Frank Geskus -No CC246A

Grant Morris

Proposed Ancillary Dwelling - 15 Lamont St, Invermay, Launceston

Application: DA NO: DA0276/2018

Date of notice: 20/06/2018

To Whom it May Concern

As the partner of Skye Jill Edwards from Invermay, I am just writing this letter to air my concerns over the privacy and security concerns I have for Skye, over this new proposal for 15 Lamont St, Invermay. If this proposal is built in its current form it would concern me greatly that any persons that are renting this building would be able to look straight into Skyes very private yard and her house, hence taking away any privacy that Skye has in her yard and house. This would also in my opinion de-value the house. My concerns are as follows:

Privacy and Security: The proposed dwelling will overlook the rear of Skyes house, especially the rear entrance and deck. Should this property be rented then the the privacy and security of Skyes yard will be put at risk.

Height: The proposed structure is not an acceptable height in a residential area. The new dwelling would look like a industrial garage that has been built on that block.

This structure if built would set a precedence, which would allow anyone in this area to build any structure they deem fit, and would cause these areas to be an eyesore to all home owners in the general area. This area has a lot of houses that have been restored and if allowing this would be an eye sore for the streetscape.

Signed

Grant Morris

James D. Ivers

FILE No.	DA0276/2018		
EO	OD	<input checked="" type="checkbox"/>	Box <input checked="" type="checkbox"/>
RCVD		22 JUN 2018	LCC
Doc No.			
Action Officer	Noted	Replied	
C. Wankmore.			
E copy: L. Rogers			

RE: PROPOSED DEVELOPMENT AT 15 LAMONT STREET INVERMAY.

TO WHOM IT MAY CONCERN

As a home owner and resident of [redacted] I strongly object to the proposed development at 15 Lamont Street Invermay. My grounds for objection are as follows:

HEIGHT: The proposed structure exceeds what I consider to be an acceptable height in a residential area. It's height and appearance are more akin to an industrial building.

PRIVACY AND SECURITY: The proposed structure will obliquely overlook the rear of our dwelling, particularly the rear entrance and deck. Should this property be rented out in any way (as seems likely given the high incidence of rentals in Invermay), the privacy and security of our property will be at risk.

BOUNDARY SETBACK: The proposed structure is too close to the rear boundary of 15 Lamont Street, which compounds the privacy issue as stated above.

INAPPROPRIATE STRUCTURE: The proposed structure would be an eyesore in what is otherwise a streetscape of older dwellings, many of them restored.

Signed



22/6/18

James Douglas Ivers.

Angela M. Ivers

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Signed

AM Ivers

22/6/18

Angela M. Ivers.

Marjory D. Ivers

FILE No.	DA0276/2018		
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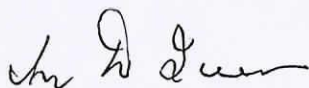
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22/6/18