

NOTES:
All Site Dimensions shown are Outside Cladding unless noted otherwise

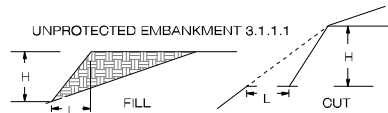
Confirm all Dimensions on Site Prior to Commencement of Works

If in Doubt Bearings Shown should be Confirmed on site by Surveyor

The Builder is to Provide protection to Adjoining Properties & Buildings In Accordance with Building Regulations

Unprotected Embankments To Comply with NCC Vol 2 part 3.1 Batter Back Less Than 45 degrees

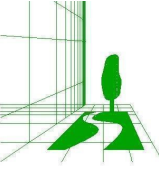
Direct All Storm & Surface Water Away from Footings



SOIL TYPE		EMBANKMENT SLOPES H : L	
		COMPACTED FILL	CUT
STABLE ROCK		2 : 3	8 : 1
SAND		1 : 2	1 : 2
SILT		1 : 4	1 : 4
CLAY	FIRM CLAY	1 : 2	1 : 1
	SOFT CLAY	NOT SUITABLE	2 : 3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

Drawn By : Nicholas Fitsialos



40 Suburb Road
WESTBURY 7303
Phone : 63 931 905
Fax : 63 931 921
Mobile: 0418 508538
BPA CC4789M
ABN 24 545 273
Email: nfdesigner@yahoo.com.au

Name:
BRENDAN P. MATTHEWS

Project:
PROPOSED UNIT DEVELOPMENT

Location:
**1 REGNANS CLOSE
ST LEONARDS TAS 7250**
Volume: 156412 Folio: 10

Project Status:
PLANNING ISSUE
Date: 23/03/2018

Building Area :

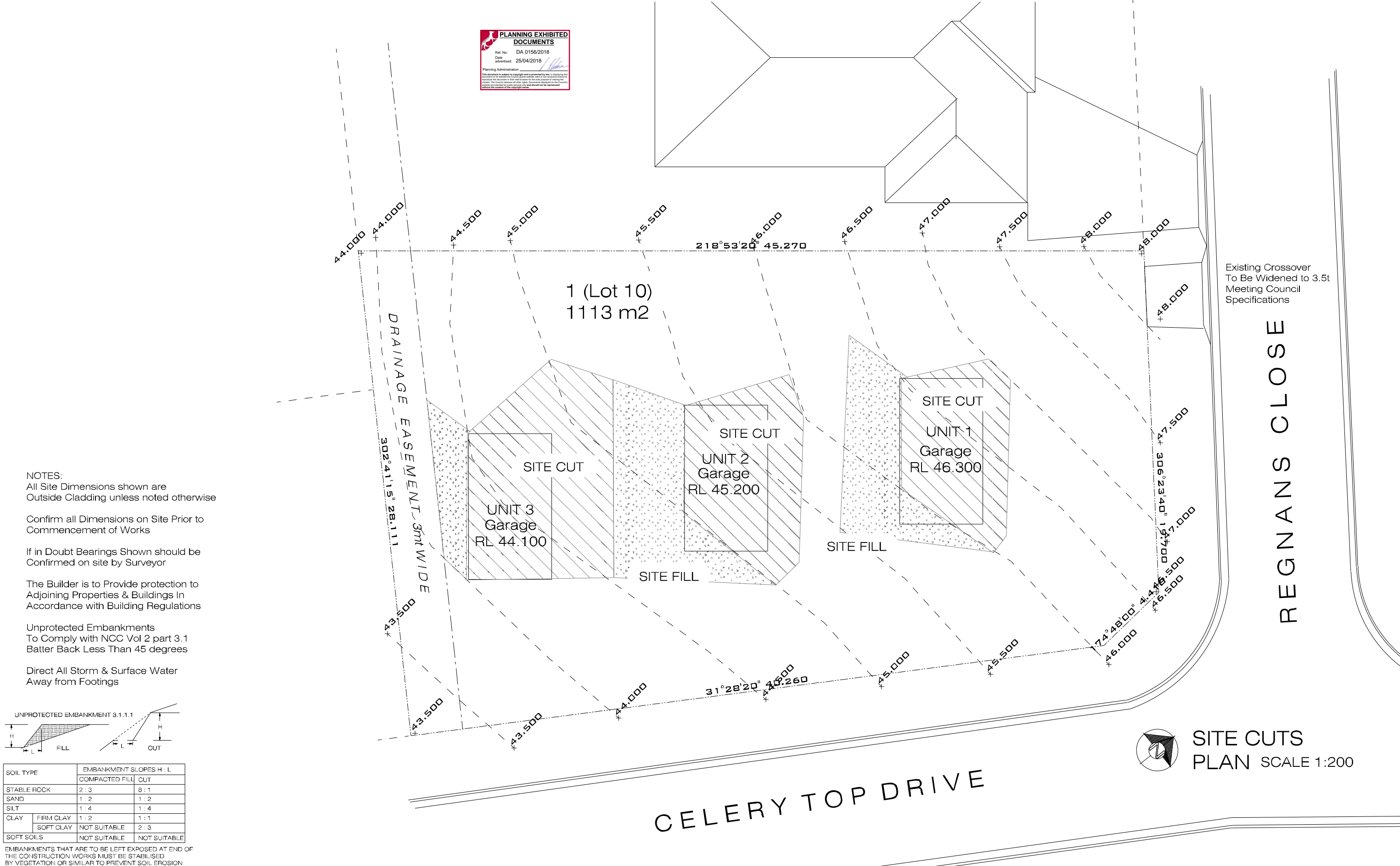
UNIT UPPER LEVEL: 79.50 m2
GARAGE / LAUNDRY : 38.90 m2
PORCH : 1.60 m2
TOTAL UNIT : 120.00 m2
ALFRESCO DECK : 24.50 m2

TOTAL 3 UNITS : 360.00 m2
Decks not included

NOTE:
ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
THE CONTRACTORS ARE TO SATISFY THEMSELVES THAT ALL WORK IS CLEAR OF EXISTING SERVICES, WHETHER SHOWN ON THE DRAWINGS OR NOT.
SERVICES TO BE LOCATED SHALL BE DONE SO IN CONJUNCTION WITH RELATIVE AUTHORITIES.

CONSIDERABLE CARE HAS BEEN TAKEN TO AVOID ERRORS & OMISSIONS IN THE PREPARATION OF THESE DRAWINGS. HOWEVER EVEN WITH THE GREATEST CARE INACCURACIES MAY OCCUR & THE DRAFTSPERSON CANNOT ACCEPT RESPONSIBILITY FOR SUCH ERRORS OR OMISSIONS

SCALE AS SHOWN DO NOT SCALE OFF PLAN	Date:	Revision
Project No: BM210118C		
Page No: 01 of 09		



Existing Crossover To Be Widened to 3.5t Meeting Council Specifications

REGNANS CLOSE

CELERY TOP DRIVE

 **SITE CUTS PLAN** SCALE 1:200

KEY



SMALL PLANTS SUCH AS:
• FLAX



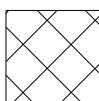
A SELECTION OF SMALL AND MEDIUM
PLANTS AND TREES SUCH AS:
• ACER VARIETY



GROUND COVER
• GRASS



PUBLIC DRIVEWAY
• BITUMEN/CONCRETE



POS
24M2 MINIMUM INDICATED



PAVING SLABS or SEALED PATH



WHEELIE BINS



CLOTHES LINE
PAVED OR SIMILAR PATH TO BE PROVIDED
FROM DWELLING TO CLOTHES LINE

NOTE:-
NEW FENCING TO BE
A MINIMUM OF
1800mm IN HEIGHT



GATES IN FENCING

Total Drive & Paths
Sealed Areas 345.00m²
This Represents 31.00% Site Coverage
Total Building Areas 293.00m²
This Represents 28.80% Site Coverage

NOTES:

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Accordance with Building Regulations

Unprotected Embankments
To Comply with NCC Vol 2 part 3.1
Batter Back Less Than 45 degrees

Direct All Storm & Surface Water
Away from Footings



NOTE : Car spaces are to be clearly designated
as VISITOR PARKING to the satisfaction of
Councils Town Planner
Highlighted spaces to be line marked or delineated
by other means to the satisfaction of
Councils Town Planner

NOTE :
Only Drivay Slab
To Go Over Easement
No Earthworks Over
Easement



Existing Crossover
To Be Widened to 3.5t
Meeting Council
Specifications

REGNANS CLOSE

CELERY TOP DRIVE



SITE & LANDSCAPE
PLAN SCALE 1:200

SOIL TYPE	EMBANKMENT SLOPES H : L	
	COMPACTED FILL	CUT
STABLE ROCK	2 : 3	8 : 1
SAND	1 : 2	1 : 2
SILT	1 : 4	1 : 4
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THE CONSTRUCTION WORKS MUST BE STABILISED
BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

Drawn By : Nicholas Fitsialos

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WESTBURY 7303
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Mobile: 0418 508538
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ABN 24 545 273

Email: nfdesigner@yahoo.com.au

Name:
BRENDAN P.
MATTHEWS

Project:
PROPOSED
UNIT DEVELOPMENT

Location:
1 REGNANS CLOSE
ST LEONARDS TAS 7250
Volume: 156412 Folio: 10

Project Status:
PLANNING ISSUE
Date: 23/03/2018

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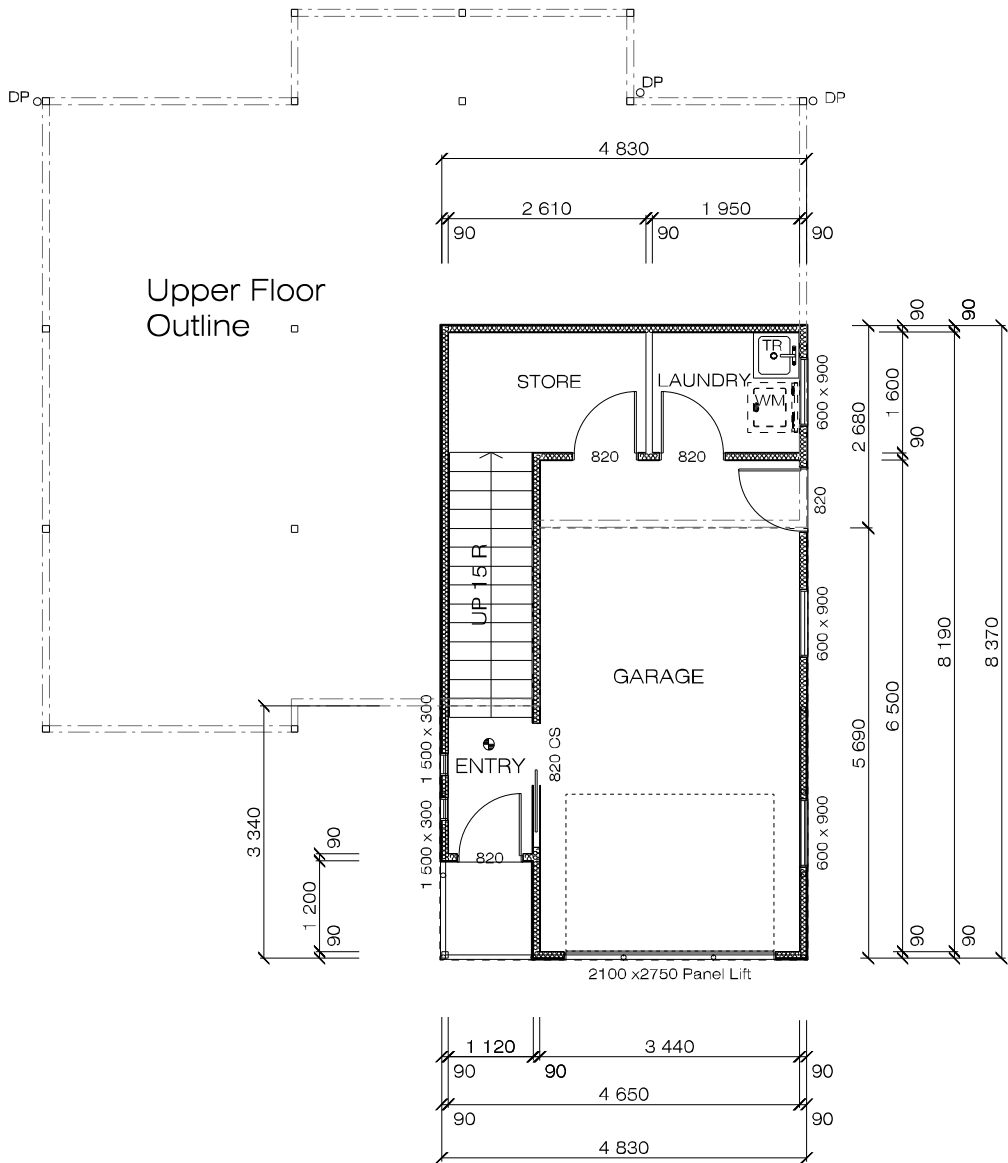
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SCALE AS SHOWN
DO NOT SCALE OFF PLAN

Project No: BM210118C

Page No: 02 of 09

Date: Revision



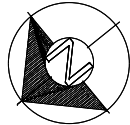
NOTES:
R Value of element as per NCC Vol 2 part 3.12
External walls R2.8
Roof Surface Solar Absorptance not more 0.4 Unvented R4.1
Roof Surface Solar Absorptance not more 0.6 Unvented R4.6
Roof Surface Solar Absorptance more than 0.6 Unvented R5.1
Any sarking must have flammability index of not more than 5.

All wet areas to comply with NCC Vol 2 Part 3.8 & AS 3740
Wall finishes shall be water resistant to a height of 1800mm above floor level to shower enclosures and 150mm above baths, basins, sinks and troughs if within 75mm of the wall.

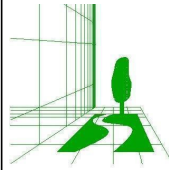
All glass to conform with NCC Vol 2 part 3.6.
and AS1288. Installations of Glazing to be in accordance with AS 2047

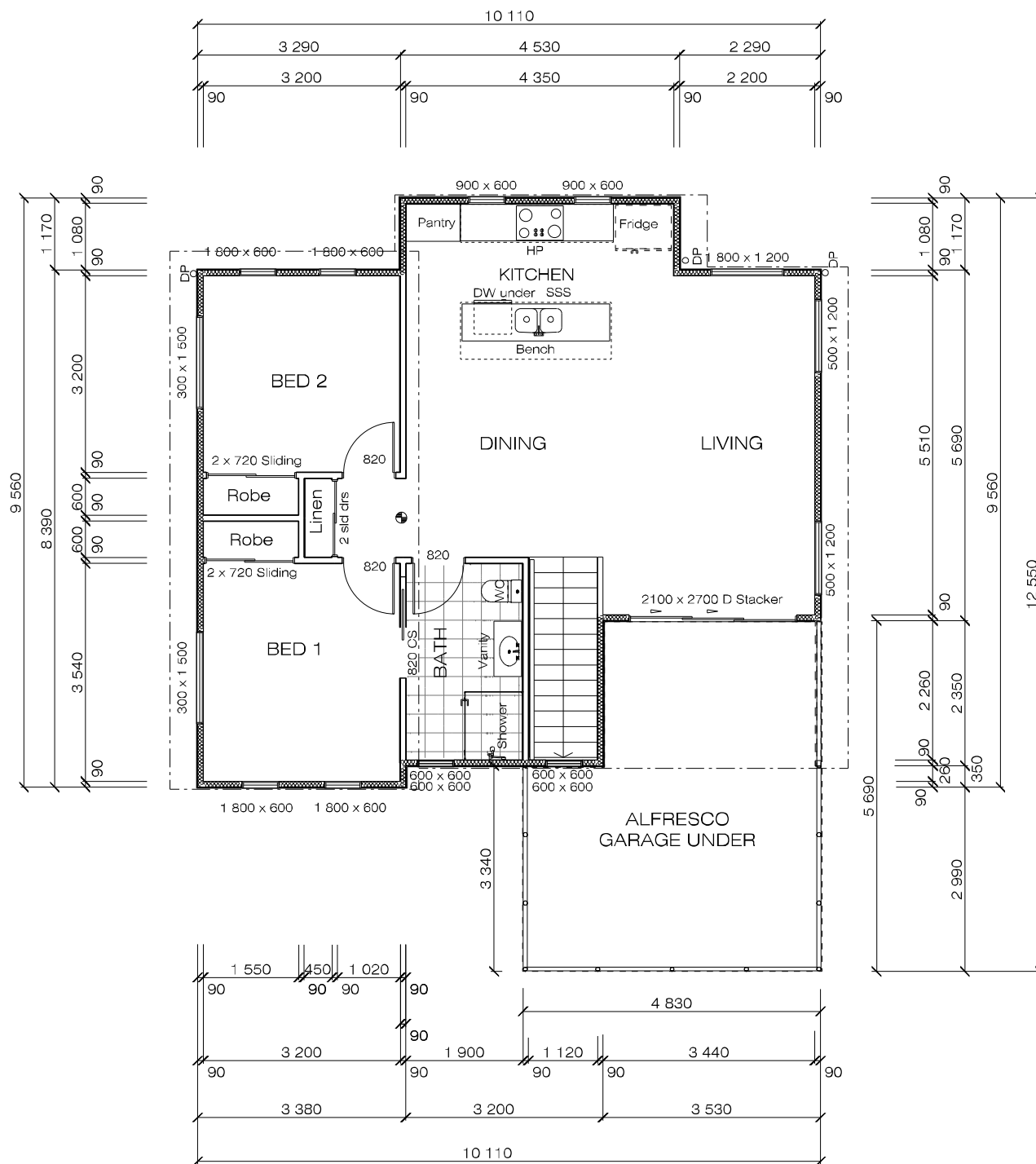
Smoke detectors to be installed as per NCC Vol 2 part 3.7.2.
Must be Interconnect if Multiple

Soil Classification to AS2870.
The owners attention is drawn to Appendix A of AS 2870.1
"Performance Requirements and Foundation Maintenance".
Footings not to encroach title boundaries and easement lines.



TYPICAL UNIT
GROUND FLOOR PLAN
SCALE = 1:100

<div>Drawn By : Nicholas Fitsialos</div> <div><div>40 Suburb Road WESTBURY 7303 Phone : 63 931 905 Fax : 63 931 921 Mobile: 0418 508538 BPA CC4789M ABN 24 545 273 Email: nfdesigner@yahoo.com.au</div></div>	Name: BRENDAN P. MATTHEWS	Location: 1 REGNANS CLOSE ST LEONARDS TAS 7250 Volume: 156412 Folio: 10	Building Area : UNIT UPPER LEVEL: 79.50 m2 GARAGE / LAUNDRY : 38.90 m2 PORCH : 1.60 m2 TOTAL UNIT : 120.00 m2 ALFRESCO DECK : 24.50 m2 TOTAL 3 UNITS : 360.00 m2 Decks not included	NOTE: ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE CONTRACTORS ARE TO SATISFY THEMSELVES THAT ALL WORK IS CLEAR OF EXISTING SERVICES, WHETHER SHOWN ON THE DRAWINGS OR NOT. SERVICES TO BE LOCATED SHALL BE DONE SO IN CONJUNCTION WITH RELATIVE AUTHORITIES. CONSIDERABLE CARE HAS BEEN TAKEN TO AVOID ERRORS & OMISSIONS IN THE PREPARATION OF THESE DRAWINGS. HOWEVER EVEN WITH THE GREATEST CARE INACCURACIES MAY OCCUR & THE DRAFTSPERSON CANNOT ACCEPT RESPONSIBILITY FOR SUCH ERRORS OR OMISSIONS	SCALE AS SHOWN DO NOT SCALE OFF PLAN	Date:	Revision
	Project: PROPOSED UNIT DEVELOPMENT	Project Status: PLANNING ISSUE Date: 23/03/2018			Project No: BM210118C		
					Page No 04 of 09		



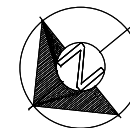
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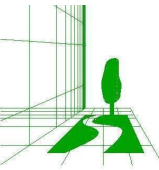
All glass to conform with NCC Vol 2 part 3.6. and AS1288. Installations of Glazing to be in accordance with AS 2047

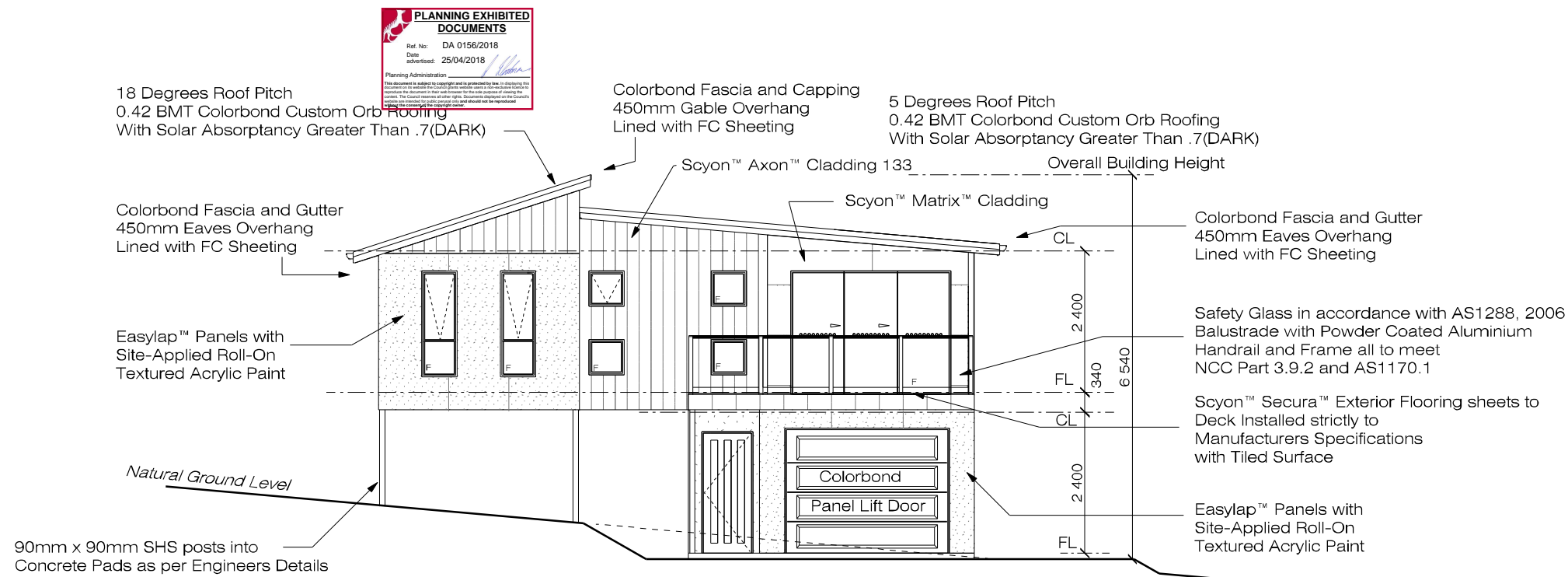
Smoke detectors to be installed as per NCC Vol 2 part 3.7.2. Must be Interconnect if Multiple

Soil Classification to AS2870. The owners attention is drawn to Appendix A of AS 2870.1 "Performance Requirements and Foundation Maintenance". Footings not to encroach title boundaries and easement lines.



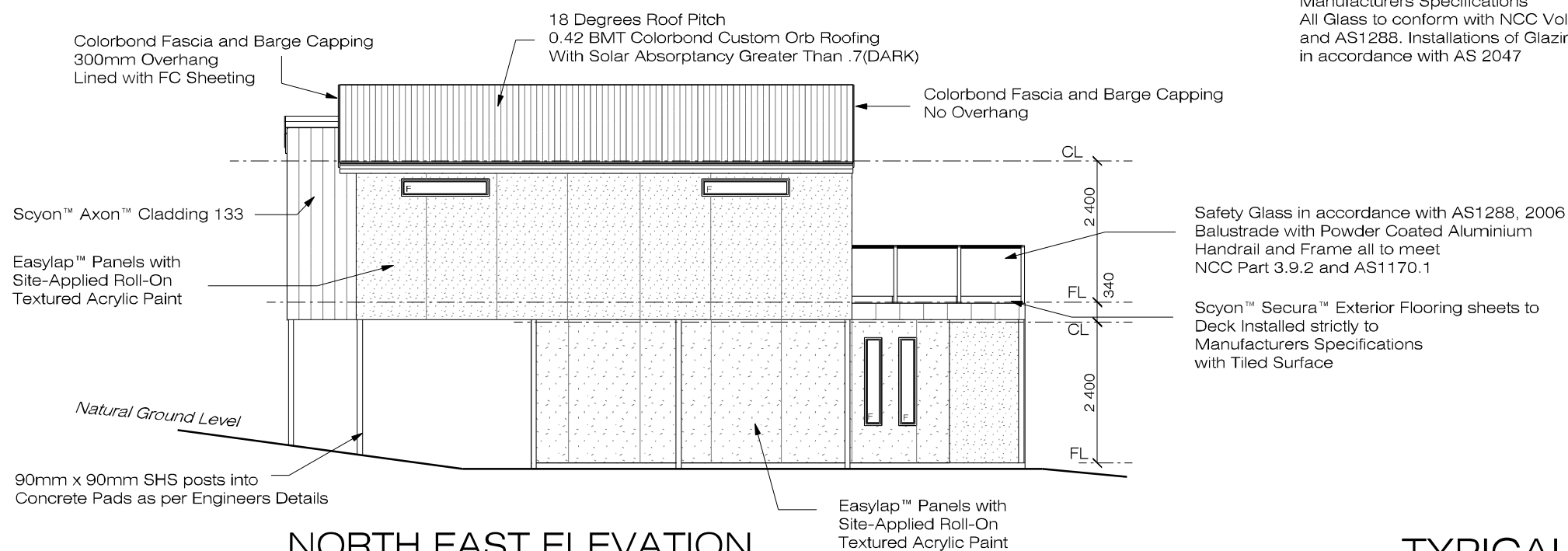
TYPICAL UNIT
UPPER FLOOR PLAN
SCALE = 1:100

<div>Drawn By : Nicholas Fitsialos</div> <div><div>40 Suburb Road WESTBURY 7303 Phone : 63 931 905 Fax : 63 931 921 Mobile: 0418 508538 BPA CC4789M ABN 24 545 273 Email: nfdesigner@yahoo.com.au</div></div>	Name: BRENDAN P. MATTHEWS	Location: 1 REGNANS CLOSE ST LEONARDS TAS 7250 Volume: 156412 Folio: 10	Building Area : UNIT UPPER LEVEL: 79.50 m2 GARAGE / LAUNDRY : 38.90 m2 PORCH : 1.60 m2 TOTAL UNIT : 120.00 m2 ALFRESCO DECK : 24.50 m2 TOTAL 3 UNITS : 360.00 m2 Decks not included	NOTE: ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE CONTRACTORS ARE TO SATISFY THEMSELVES THAT ALL WORK IS CLEAR OF EXISTING SERVICES, WHETHER SHOWN ON THE DRAWINGS OR NOT. SERVICES TO BE LOCATED SHALL BE DONE SO IN CONJUNCTION WITH RELATIVE AUTHORITIES. CONSIDERABLE CARE HAS BEEN TAKEN TO AVOID ERRORS & OMISSIONS IN THE PREPARATION OF THESE DRAWINGS. HOWEVER EVEN WITH THE GREATEST CARE INACCURACIES MAY OCCUR & THE DRAFTSPERSON CANNOT ACCEPT RESPONSIBILITY FOR SUCH ERRORS OR OMISSIONS	SCALE AS SHOWN DO NOT SCALE OFF PLAN	Date:	Revision
Project: PROPOSED UNIT DEVELOPMENT	Project Status: PLANNING ISSUE Date: 23/03/2018				Project No: BM210118C		
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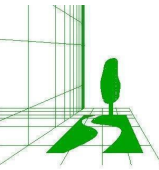
NORTH WEST ELEVATION
 SCALE = 1:100

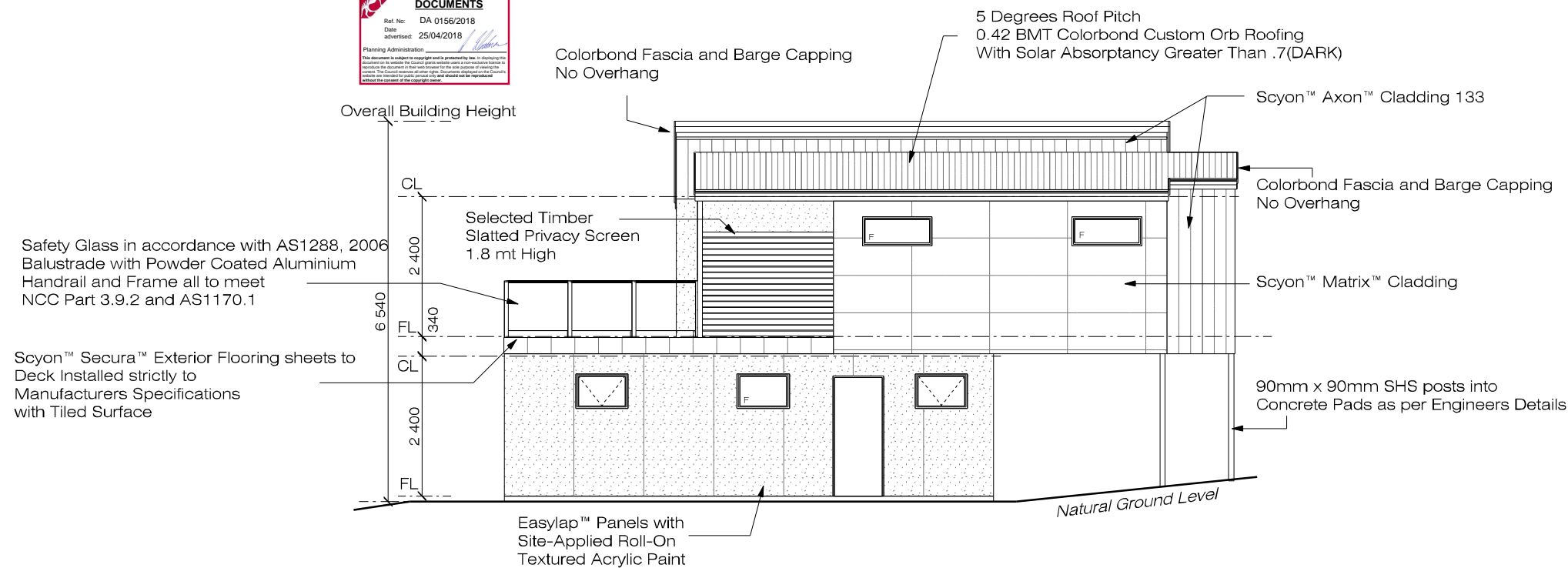
NOTE:
 Windows Powder Coated Awning
 Aluminium Frames
 Tas Oak Reveals and Trims
 All Flashings and Fixings to
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 All Glass to conform with NCC Vol 2 part 3.6.
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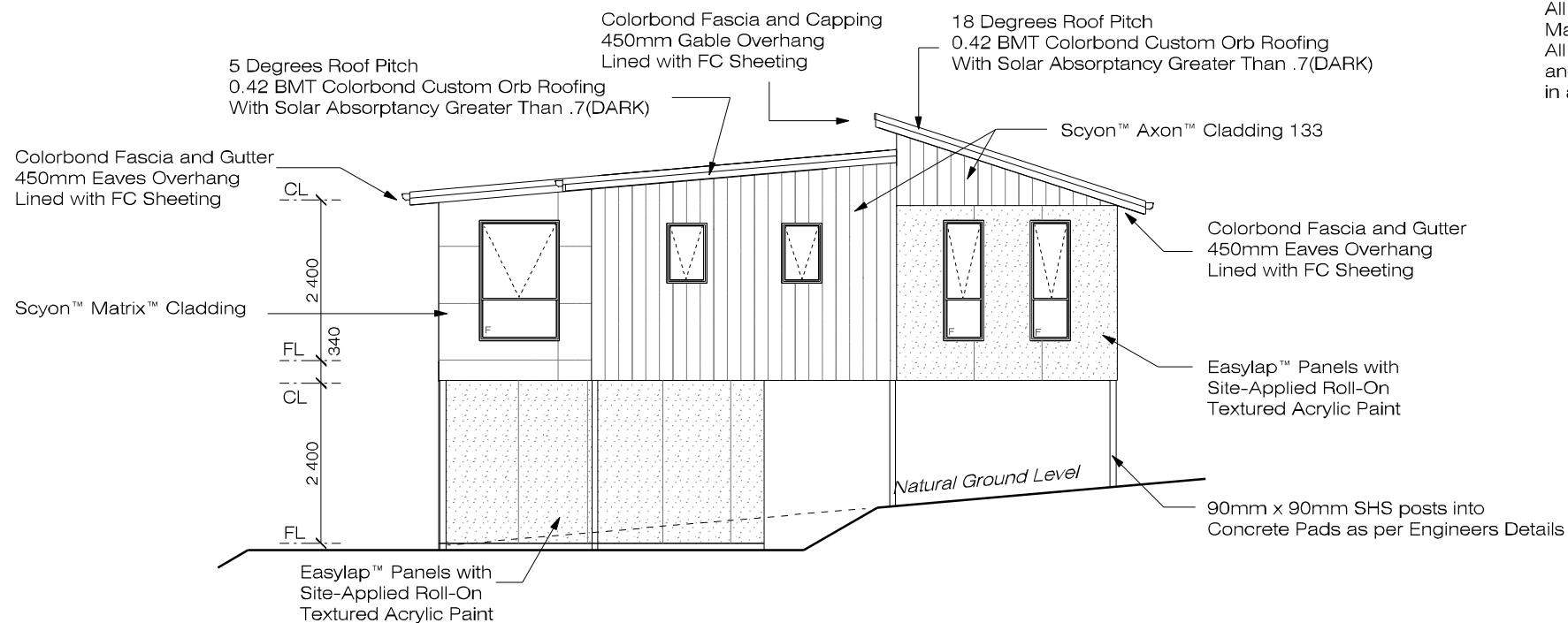
NORTH EAST ELEVATION
 SCALE = 1:100

**TYPICAL
 ELEVATIONS**

Drawn By : Nicholas Fitsialos  40 Suburb Road WESTBURY 7303 Phone : 63 931 905 Fax : 63 931 921 Mobile: 0418 508538 BPA CC4789M ABN 24 545 273 Email: nfdesigner@yahoo.com.au	Name: BRENDAN P. MATTHEWS	Location: 1 REGNANS CLOSE ST LEONARDS TAS 7250 Volume: 156412 Folio: 10	Building Area : UNIT UPPER LEVEL : 79.50 m2 GARAGE / LAUNDRY : 38.90 m2 PORCH : 1.60 m2 TOTAL UNIT : 120.00 m2 ALFRESCO DECK : 24.50 m2 TOTAL 3 UNITS : 360.00 m2 Decks not included	NOTE: ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE CONTRACTORS ARE TO SATISFY THEMSELVES THAT ALL WORK IS CLEAR OF EXISTING SERVICES, WHETHER SHOWN ON THE DRAWINGS OR NOT. SERVICES TO BE LOCATED SHALL BE DONE SO IN CONJUNCTION WITH RELATIVE AUTHORITIES. CONSIDERABLE CARE HAS BEEN TAKEN TO AVOID ERRORS & OMISSIONS IN THE PREPARATION OF THESE DRAWINGS. HOWEVER EVEN WITH THE GREATEST CARE INACCURACIES MAY OCCUR & THE DRAFTSPERSON CANNOT ACCEPT RESPONSIBILITY FOR SUCH ERRORS OR OMISSIONS	SCALE AS SHOWN DO NOT SCALE OFF PLAN	Date:	Revision
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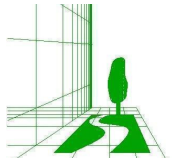
SOUTH WEST ELEVATION
SCALE = 1:100

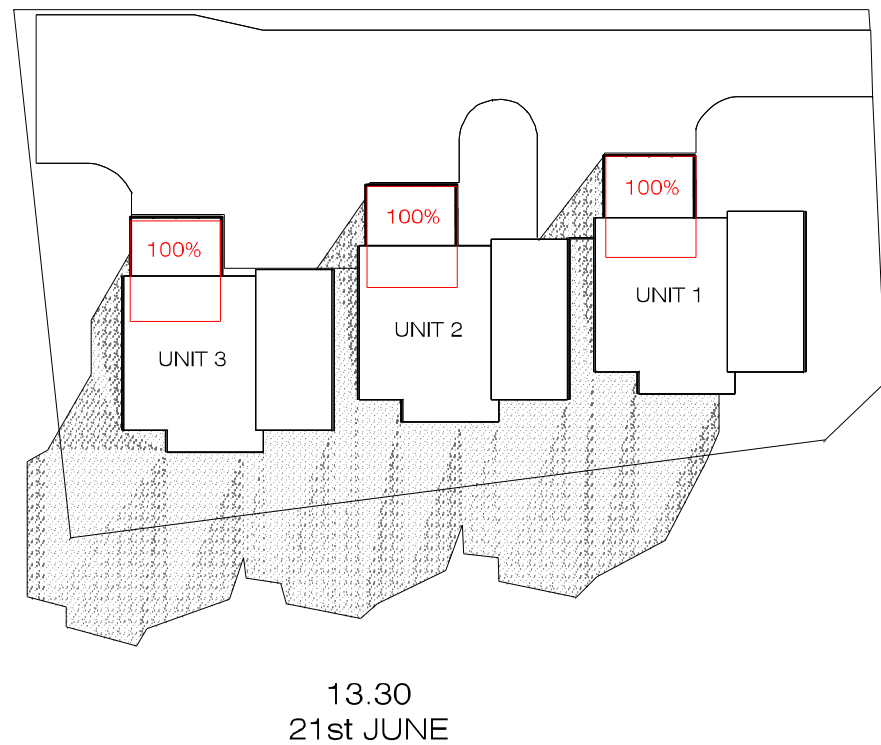
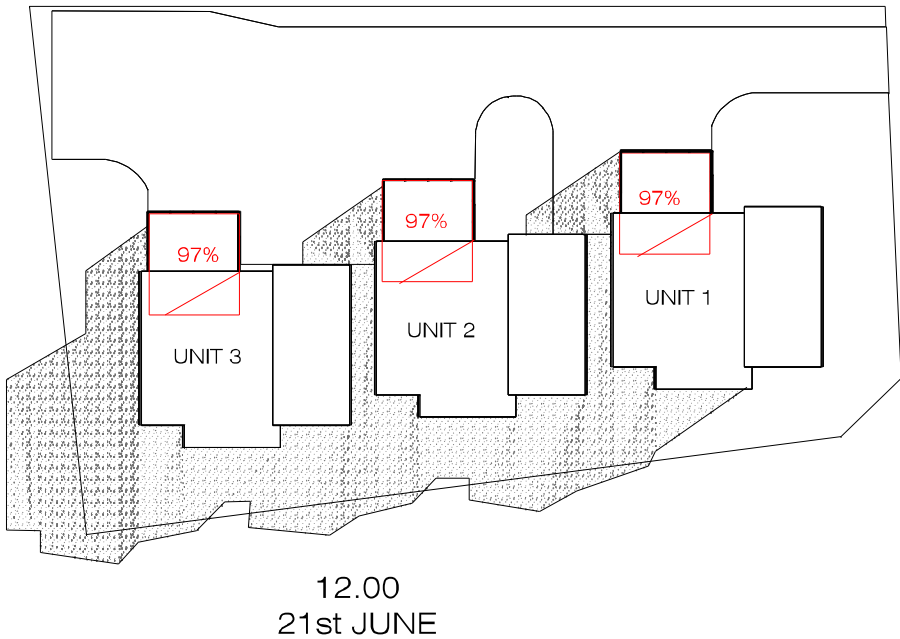
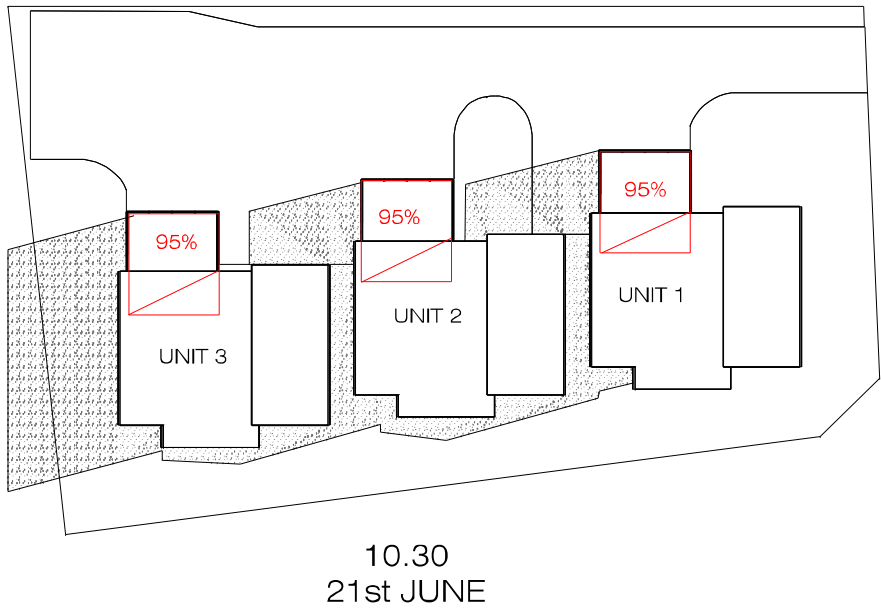


SOUTH EAST ELEVATION
SCALE = 1:100

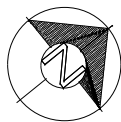
NOTE:
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All Flashings and Fixings to
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TYPICAL ELEVATIONS

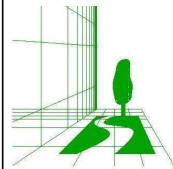
<div>Drawn By : Nicholas Fitsialos</div> <div></div> <div>Email: nfdesigner@yahoo.com.au</div>	Name: BRENDAN P. MATTHEWS	Location: 1 REGNANS CLOSE ST LEONARDS TAS 7250 Volume: 156412 Folio: 10	Building Area : UNIT UPPER LEVEL: 79.50 m2 GARAGE / LAUNDRY : 38.90 m2 PORCH : 1.60 m2 TOTAL UNIT : 120.00 m2 ALFRESCO DECK : 24.50 m2 TOTAL 3 UNITS : 360.00 m2 Decks not included	<p>NOTE: ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE CONTRACTORS ARE TO SATISFY THEMSELVES THAT ALL WORK IS CLEAR OF EXISTING SERVICES, WHETHER SHOWN ON THE DRAWINGS OR NOT. SERVICES TO BE LOCATED SHALL BE DONE SO IN CONJUNCTION WITH RELATIVE AUTHORITIES.</p> <p>CONSIDERABLE CARE HAS BEEN TAKEN TO AVOID ERRORS & OMISSIONS IN THE PREPARATION OF THESE DRAWINGS. HOWEVER EVEN WITH THE GREATEST CARE INACCURACIES MAY OCCUR & THE DRAFTSPERSON CANNOT ACCEPT RESPONSIBILITY FOR SUCH ERRORS OR OMISSIONS</p>	SCALE AS SHOWN DO NOT SCALE OFF PLAN	Date:	Revision
	Project: PROPOSED UNIT DEVELOPMENT	Project Status: PLANNING ISSUE Date: 23/03/2018			Project No: BM210118C		
					Page No 07 of 09		

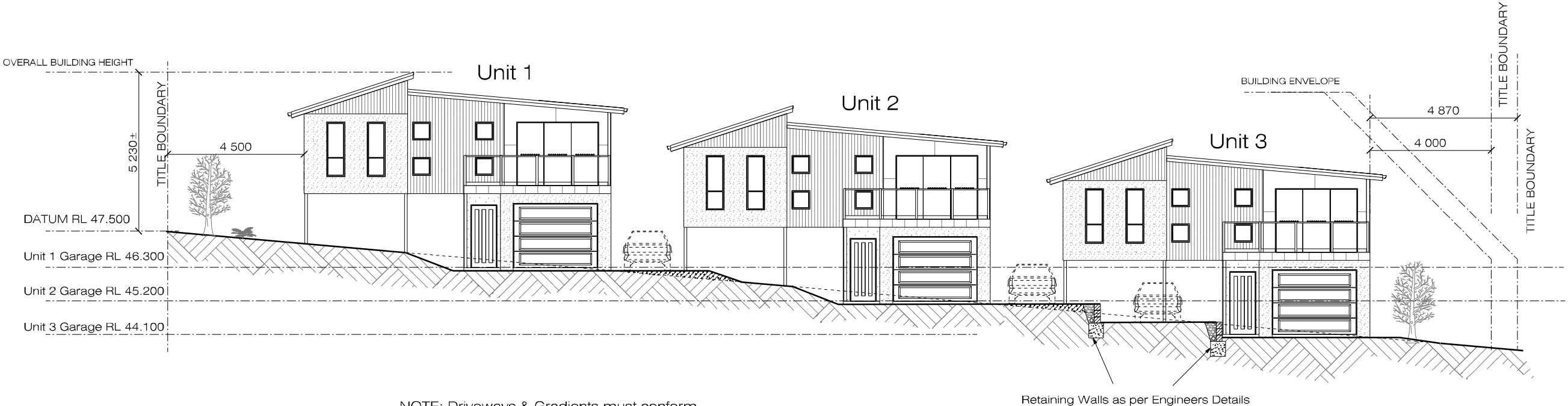


THESE DIAGRAMS SHOW THE 3 HOURS OF DAYLIGHT RECEIVED AT THE
PRIVATE OPEN SPACE OF EACH UNIT
24m2 MINIMUM PRIVATE OPEN SPACE INDICATED



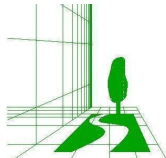
PRIVATE OPEN SPACE
SHADOW DIAGRAM
SCALE 1:400

<div>Drawn By : Nicholas Fitsialos</div> <div><div>40 Suburb Road WESTBURY 7303 Phone : 63 931 905 Fax : 63 931 921 Mobile: 0418 508538 BPA CC4789M ABN 24 545 273</div></div> <div>Email: nfdesigner@yahoo.com.au</div> <div>Document Set ID: 3705005</div> <div>Version: 2, Version Date: 23/08/2018</div>	<div>Name:</div> <div>BRENDAN P. MATTHEWS</div>	<div>Location:</div> <div>1 REGNANS CLOSE ST LEONARDS TAS 7250 Volume: 156412 Folio: 10</div>	<div>Building Area :</div> <div>UNIT UPPER LEVEL: 79.50 m2 GARAGE / LAUNDRY : 38.90 m2 PORCH : 1.60 m2 TOTAL UNIT : 120.00 m2 ALFRESCO DECK : 24.50 m2 TOTAL 3 UNITS : 360.00 m2 Decks not included</div>	<div>NOTE:</div> <div>ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE CONTRACTORS ARE TO SATISFY THEMSELVES THAT ALL WORK IS CLEAR OF EXISTING SERVICES, WHETHER SHOWN ON THE DRAWINGS OR NOT. SERVICES TO BE LOCATED SHALL BE DONE SO IN CONJUNCTION WITH RELATIVE AUTHORITIES.</div> <div>CONSIDERABLE CARE HAS BEEN TAKEN TO AVOID ERRORS & OMISSIONS IN THE PREPARATION OF THESE DRAWINGS. HOWEVER EVEN WITH THE GREATEST CARE INACCURACIES MAY OCCUR & THE DRAFTSPERSON CANNOT ACCEPT RESPONSIBILITY FOR SUCH ERRORS OR OMISSIONS</div>	<div>SCALE AS SHOWN DO NOT SCALE OFF PLAN</div>	<div>Date:</div> <div></div>	<div>Revision</div> <div></div>
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					<div>Page No : 08 of 09</div>		



NOTE: Driveways & Gradients must conform to AS/NZS 2890.1:2004
Max Gradient 1in 4
Driveway access across property line 1 in 20
All transition areas must be calculated to this standard

SITE SECTION
SCALE 1 : 150

<div>Drawn By : Nicholas Fitsialos</div> <div><div>40 Suburb Road WESTBURY 7303 Phone : 63 931 905 Fax : 63 931 921 Mobile: 0418 508538 BPA CC4789M ABN 24 545 273 Email: nfdesigner@yahoo.com.au</div></div>	Name: BRENDAN P. MATTHEWS	Location: 1 REGNANS CLOSE ST LEONARDS TAS 7250 Volume: 156412 Folio: 10	Building Area : UNIT UPPER LEVEL: 79.50 m2 GARAGE / LAUNDRY : 38.90 m2 PORCH : 1.60 m2 TOTAL UNIT : 120.00 m2 ALFRESCO DECK : 24.50 m2 TOTAL 3 UNITS : 360.00 m2 Decks not included	NOTE: ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE CONTRACTORS ARE TO SATISFY THEMSELVES THAT ALL WORK IS CLEAR OF EXISTING SERVICES, WHETHER SHOWN ON THE DRAWINGS OR NOT. SERVICES TO BE LOCATED SHALL BE DONE SO IN CONJUNCTION WITH RELATIVE AUTHORITIES. CONSIDERABLE CARE HAS BEEN TAKEN TO AVOID ERRORS & OMISSIONS IN THE PREPARATION OF THESE DRAWINGS. HOWEVER EVEN WITH THE GREATEST CARE INACCURACIES MAY OCCUR & THE DRAFTSPERSON CANNOT ACCEPT RESPONSIBILITY FOR SUCH ERRORS OR OMISSIONS	SCALE AS SHOWN DO NOT SCALE OFF PLAN	Date:	Revision		
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					Page No: 03 of 09				