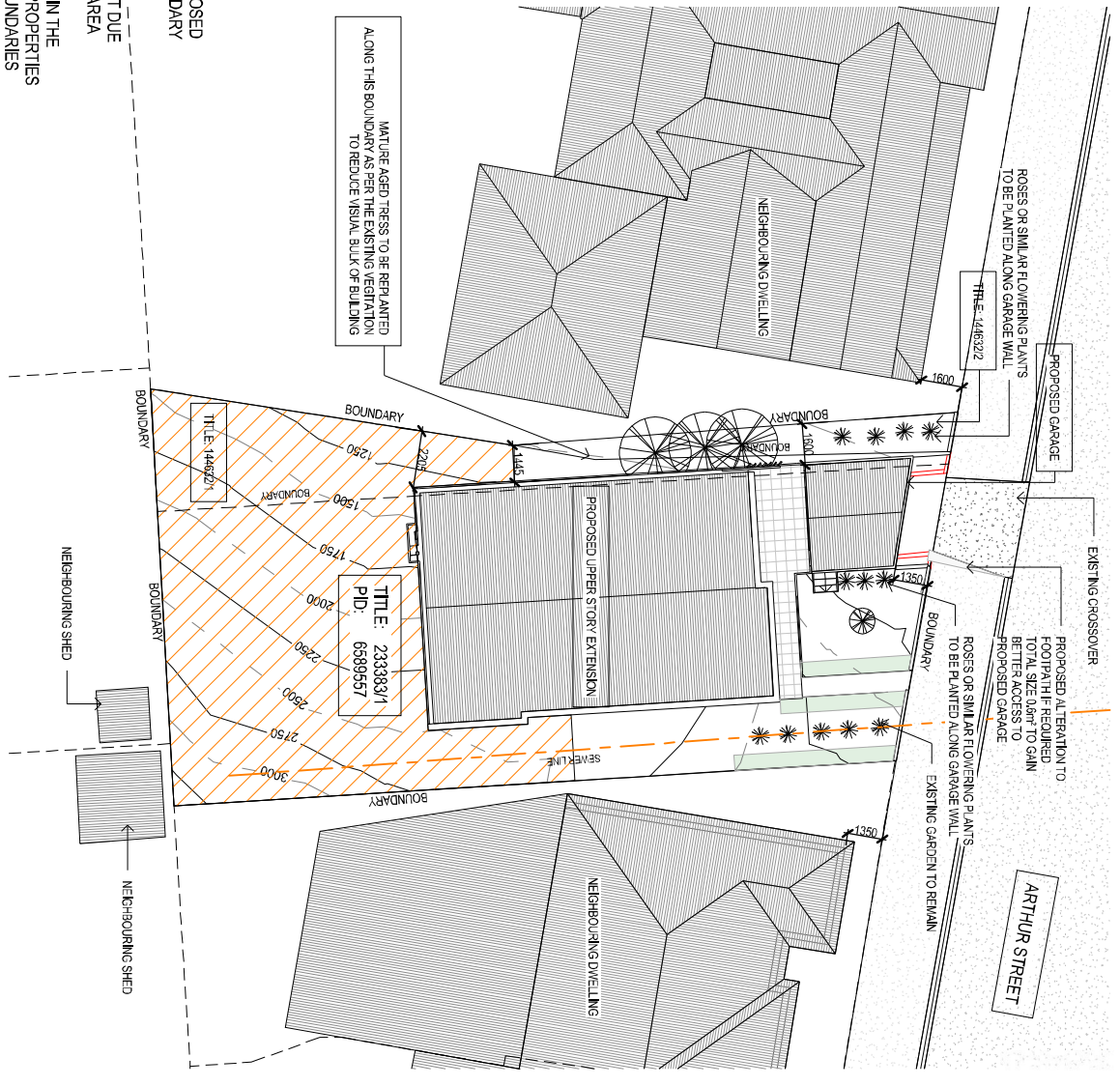


Council Agenda - Agenda Item 8.1

Attachment 2 - Plans to be endorsed

93 Arthur Street, Launceston



SITE PLAN
 SCALE 1:200

93 ARTHUR STREET CONSISTS OF 3 SEPERATE TITLES
 - 233983/1 - 333.0m²
 - 144693/1 - 58.0m²
 - 144693/2 - 16.9m²

	PRIVATE OPEN SPACES 170m ² (41.5%)	
	IMPERVIOUS SURFACES 16 m ²	38.4%

NOTE
 DRAINAGE
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT FROM COUNCIL WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENSED TRADESMAN ONLY.

NOTE
 SEWER & STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING SEWER & STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

ISSUED FOR APPROVAL

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11.4.4 - FRONTAGE SETBACKS

LAUNCESTON PLANNING SCHEME 2015 PERFORMANCE CRITERIA APPROVALS

THE PROPOSED DEVELOPMENT INCLUDES A PROPOSED GARAGE LOCATED 160mm FROM THE FRONT BOUNDARY WHICH IS INSIDE THE REQUIRED FRONT OFFSET

WE ARE PROPOSING THIS GARAGE FOR THE CLIENT DUE TO LIMITED AMOUNT OF SECURE PARKING IN THE AREA

THE GARAGE ON THE BOUNDARY IS KEEPING WITHIN THE EXISTING STREETSCAPE DUE TO OTHER NEARBY PROPERTIES HAVING GARAGES LOCATED DIRECTLY ON THE BOUNDARIES

99 ARTHUR STREET & 84 ARTHUR STREET (BOTH LOCATED WITHIN 50m) HAVE GARAGES LOCATED DIRECTLY OR VERY CLOSE TO THE FRONT BOUNDARIES. SEVERAL OTHER PROPERTIES ON THIS BLOCK ARE ALSO BUILT WITHIN THE FRONT OFFSET DUE TO THE AGE OF THE SUBURB

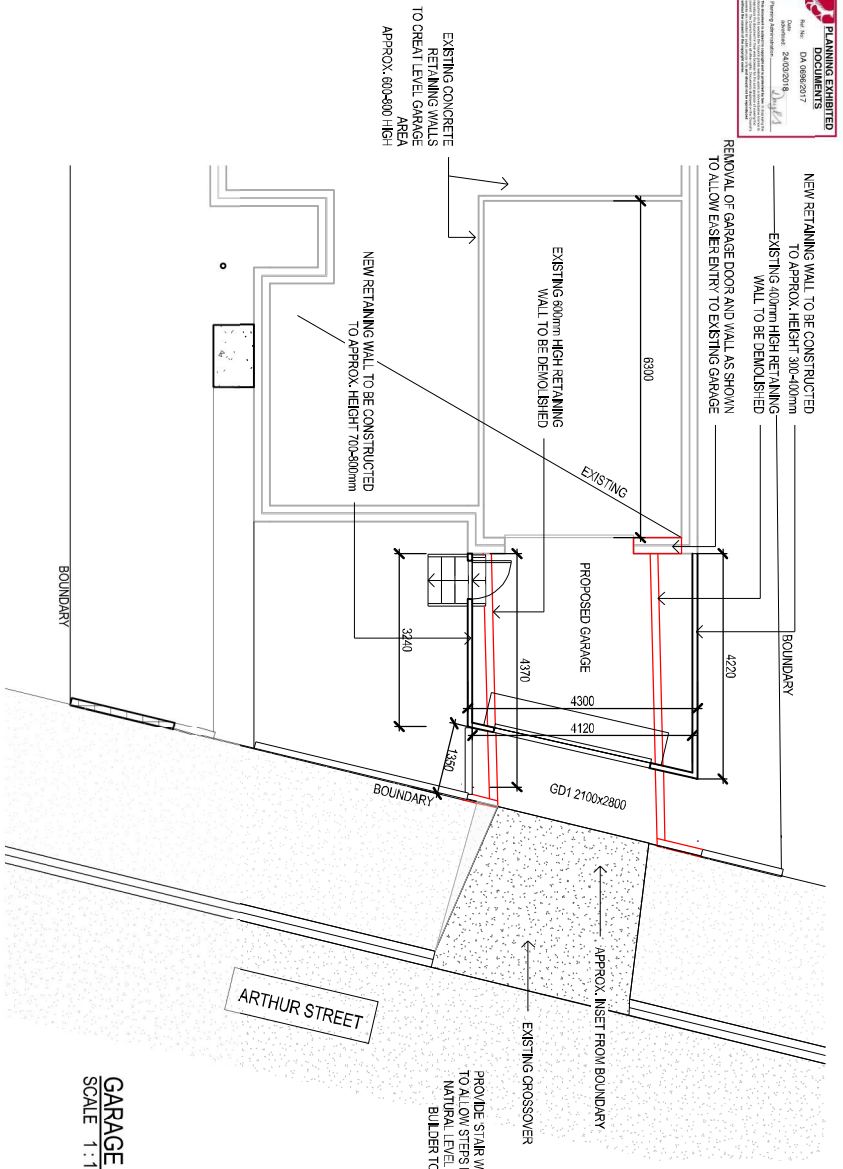
THE WIDTH OF THE GARAGE IS 4.3m WHICH IS LESS THAN 50% OF DWELLING WIDTH

DUE TO A WIDE FOOTPATH THERE IS AMPLE ROOM FOR A CAR TO REVERSE OUT OF GARAGE BEFORE ENTERING THE ROAD TO LOOK FOR OTHER MOTORISTS

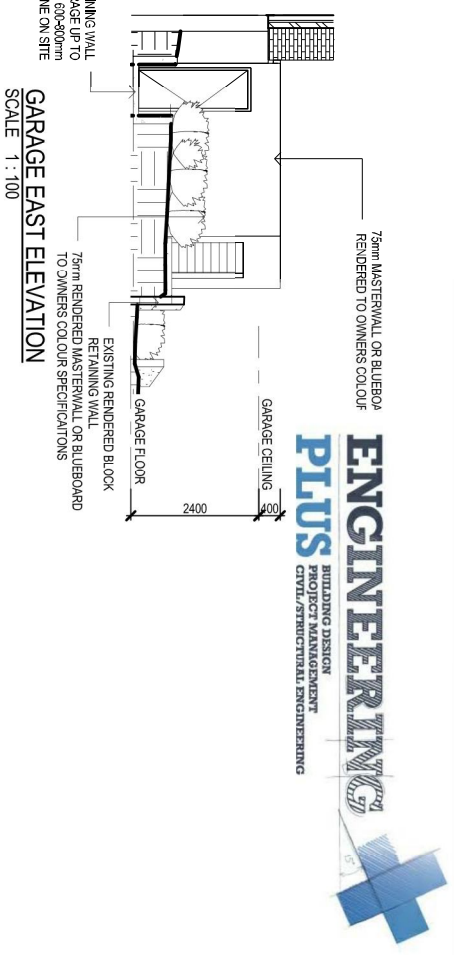
THE PROPOSED GARAGE IS LOCATED BELOW THE LIVING AREAS OF THE DWELLING AND DOES NOT AFFECT THE SURVEILLANCE OF THE PROPERTY

Rev.	Amendment:	Date:	Int:	Date Drawn:	20.12.17
A	ISSUED FOR APPROVAL	20.12.17	A.T	Drawn:	A. Taylor
B	GARAGE UPDATE	01.03.18	A.T	Checked:	A. Taylor
				Approved:	J. Pfeiffer
				Scaler:	As Shown @ A3
				Accredited Building Designer	
				Designer Name:	J. Pfeiffer
				Accreditation No:	CC2211T
				Address:	93 ARTHUR STREET LAUNCESTON
				Project:	PROPOSED EXTENSION
				Client:	S. BEHERA & L. OLDHAM
				Mobile:	0417 362 783 or 0417 545 813
				Email:	jack@engineeringplus.com.au
				Web:	www.engineeringplus.com.au
				Logo:	
				Drawing No:	28117 A01





GARAGE LEVEL
 SCALE 1 : 100



GARAGE EAST ELEVATION
 SCALE 1 : 100



Area Schedule (Gross Building)

Name	Area	Area (sq)
PROPOSED GARAGE	21.12 m ²	2.27
EXISTING FLOOR AREA	128.08 m ²	13.79
UPPER STORY	104.51 m ²	11.25
UPPER DECK	30.19 m ²	3.25
	283.99 m ²	30.56

Rev.	Amendment:	Date:	Int.
B	GARAGE UPDATE	01.03.18	A.T
A	ISSUED FOR APPROVAL	20.12.17	A.T

Date Drawn: 20.12.17
 Drawn: A. Taylor
 Checked: A. Taylor
 Approved: J. Pfeiffer
 Scale: As Shown @ A3
 Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No.: CC2211T

Drawing No: 28117 A02

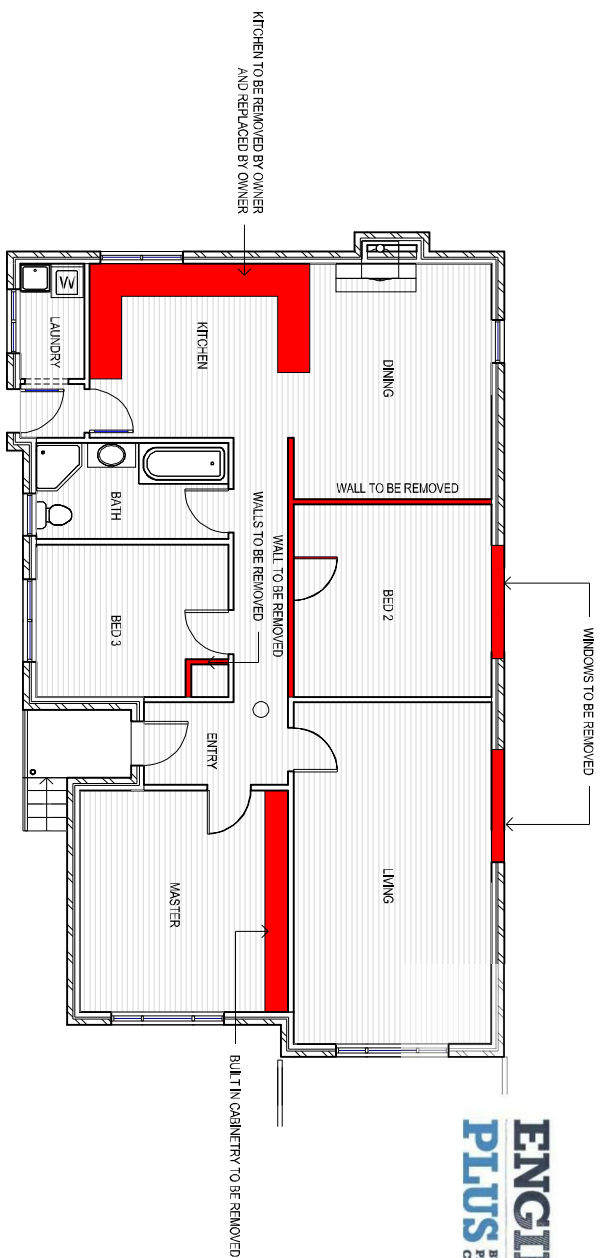
ISSUED FOR APPROVAL

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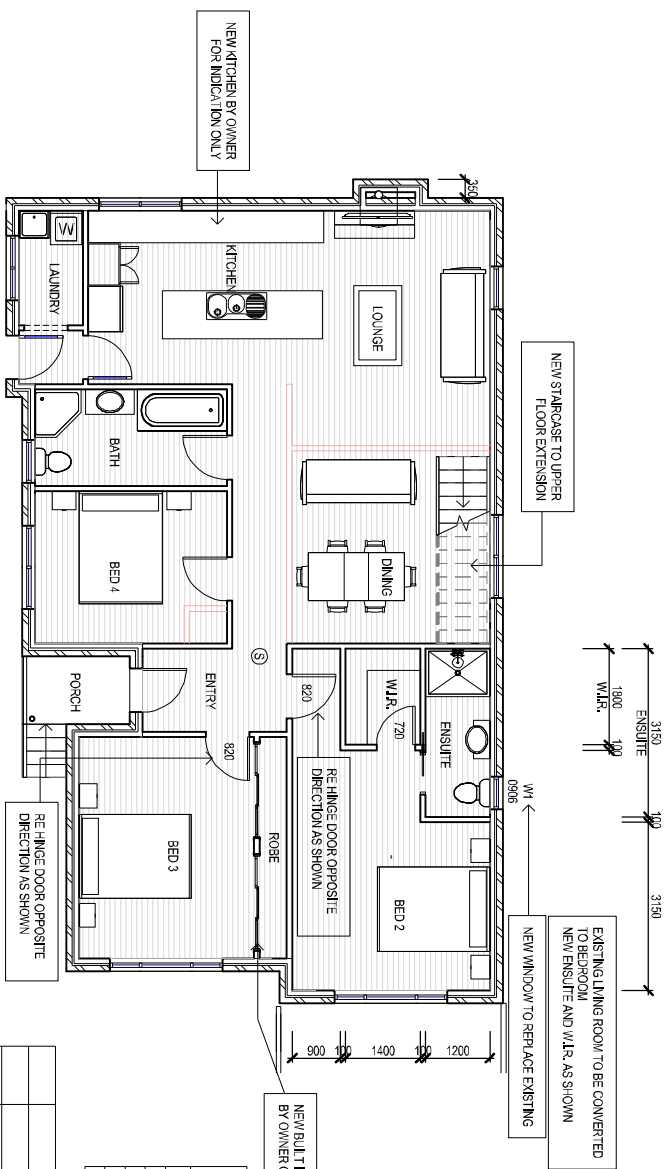
Client: S. BEHERA & L. OLDHAM
 Project: PROPOSED EXTENSION
 Address: 93 ARTHUR STREET
 LAUNCESTON



DEMOLITION OF EXISTING TO BE UNDERTAKEN BY BUILDER OR SUITABLY QUALIFIED PERSON ONCE BUILDING/DEMOLITION PERMITS HAVE BEEN ISSUED. EXISTING ROOF IS TO BE COMPLETELY REMOVED AND REPLACED WITH PROPOSED UPPER STORY BUILDER TO DETERMINE BEST COURSE OF ACTION TO UNDERTAKEN DEMOLITION WORKS



DEMOLITION PLAN
SCALE 1 : 100



FLOOR LEVEL
SCALE 1 : 100

Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED GARAGE	21.12 m ²	2.27
EXISTING FLOOR AREA	128.08 m ²	13.19
UPPER STORY	104.51 m ²	11.25
UPPER DECK	30.19 m ²	3.25
	283.89 m ²	30.56

FLOOR COVERINGS
<input checked="" type="checkbox"/> CARPET
<input type="checkbox"/> CONCRETE
<input type="checkbox"/> TIMBER FLOORING
<input type="checkbox"/> TILE

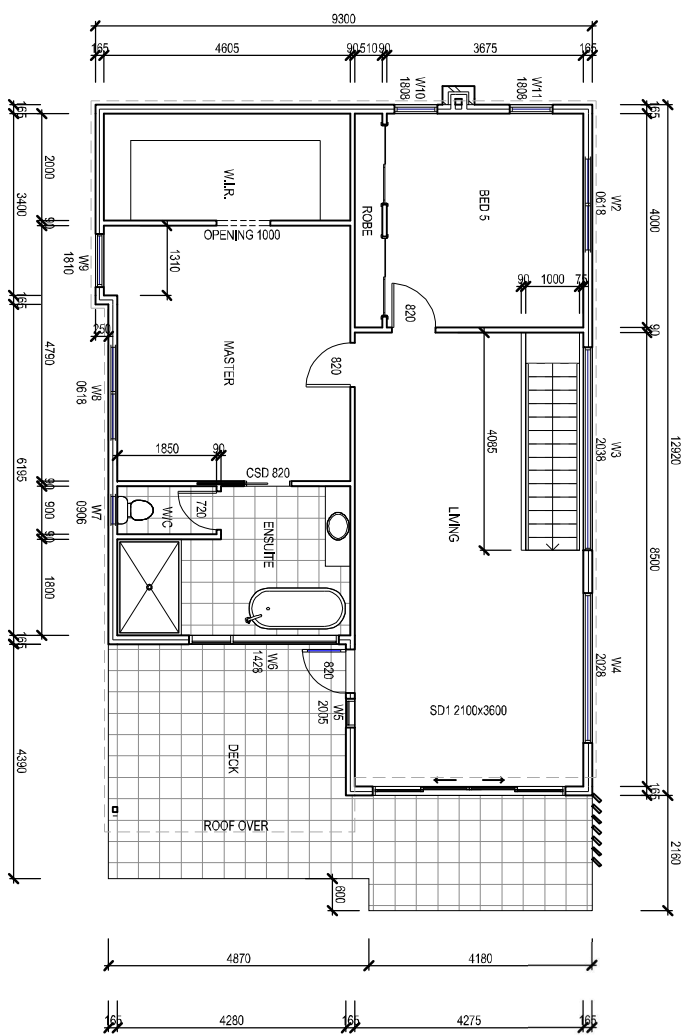
SMOKE ALARMS
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786.
 CEILING MOUNTED WITH 9VDC
 ALKALINE BATTERY BACKUP
 TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART 3.7.2

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS TO BOTH LEVELS

Date Drawn:	20.12.17
Drawn:	A. Taylor
Checked:	A. Taylor
Approved:	J. Pfeiffer
Scale:	As Shown @ A3
Accredited Building Designer	
Designer Name:	J. Pfeiffer
Accreditation No.:	CC221117
Client:	S. BEHERA & L. OLDHAM
Project:	PROPOSED EXTENSION
Address:	93 ARTHUR STREET LAUNCESTON
Copyright	©
Issued For Approval	
Rev:	Amendment:
A	ISSUED FOR APPROVAL
B	GARAGE UPDATE
Date:	20.12.17
Int.:	A/I
Drawing No.:	28117
Rev.:	A03

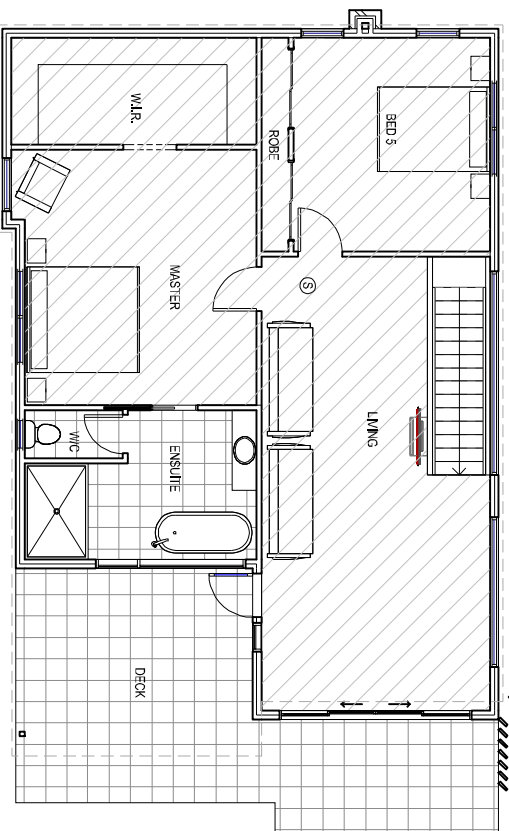


EXTERNAL DIMENSIONS MAY CHANGE ON SITE DUE TO SMALL DISCREPANCIES WITH THE EXISTING DWELLING AND DIMENSIONS PROVIDED. BUILDER TO DOUBLE CHECK ALL DIMENSIONS PRIOR TO COMMENCING WORK



UPPER LEVEL CONSTRUCTION PLAN
 SCALE 1 : 100

TIMBER FEATURE SLATS TO REDUCE VISIBILITY TO NEIGHBOURING PROPERTIES PRIVATE APPROX. 45°



UPPER LEVEL FLOOR PLAN
 SCALE 1 : 100

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER FLOORING
	TILE

SMOKE ALARMS
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786.
 CEILING MOUNTED WITH 9VDC
 ALKALINE BATTERY BACKUP
 TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART 3.7.2

- DENOTES INTERCONNECTED SMOKE DETECTORS TO BOTH LEVELS

Area Schedule (Gross Building)			
Name	Area	Area (sq)	
PROPOSED GARAGE	21.12 m ²	2.27	
EXISTING FLOOR AREA	128.08 m ²	13.79	
UPPER STORY	104.51 m ²	11.25	
UPPER DECK	30.19 m ²	3.25	
	283.89 m ²	30.56	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W2	600	1800	DG	4.3	.55
W3*	2000	3800	DG	4.3	.55
W4*	2000	2800	DG	4.3	.55
W5	2100	500	DG	4.3	.55
W6	1400	2800	DG	4.3	.55
W7	900	600	DG	4.3	.55
W8	600	1800	DG	4.3	.55
W9*	1800	1000	DG	4.3	.55
W10	1800	800	DG	4.3	.55
W11	1800	800	DG	4.3	.55
SD1	2100	3600	DG	4.1	.61
D1	820	2100	DG	4.1	.61

* W3, W4 & W9 TO BE FULLY FROSTED WITH A WHITE FROST FILM TO MATCH THE RENDER COLOUR IF POSSIBLE TO REDUCE THE VISUAL IMPACT OF THE LARGE GLAZING UNIT FROM EXTERIOR WINDOWS IS TO ALLOW FOR MAXIMUM LIGHT ENTRY INTO ROOM

Rev.	Amendment:	Date:	Int.
A	ISSUED FOR APPROVAL	20.12.17	A,I
B	GARAGE UPDATE	01.03.18	A,I

ISSUED FOR APPROVAL

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Client: **S. BEHERA & L. OLDHAM**
 Project: **PROPOSED EXTENSION LAUNCESTON**
 Address: **93 ARTHUR STREET LAUNCESTON**

Date Drawn: 20.12.17
 Drawn: A. Taylor
 Checked: A. Taylor
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No.: CC2211T

Mob 0417 532 283 or 0417 545 813
 jak@engineeringplus.com.au
 jtp@engineeringplus.com.au

ENGINEERING PLUS
 BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Drawing No: **28117 A04**

11.4.3 - BUILDING ENVELOPE

THE PROPOSED UPPER STORY EXTENSION GOES OUTSIDE THE LIMITS OF THE BUILDING ENVELOPE AS SHOWN DUE TO THE ORIENTATION OF THE BLOCK THIS CAUSES ONLY A MINIMAL INCREASE IN SHADOW FROM 9.00am - 11.00am TO THE NEIGHBOURING PROPERTY (REFER SHADOW DIAGRAMS FOR ILLUSTRATIONS)

DUE TO THE UPPER STORY EXTENSION BEING WITHIN THE BUILDING ENVELOPE CONSIDERATIONS TO THE PRIVACY OF THE NEIGHBOURING DWELLING HAVE BEEN TAKEN INTO ACCOUNT

WINDOW 2 IS ONLY A SMALL WINDOW AND WILL NOT PROVIDE VIEWS OVER NEIGHBOUR WINDOW 3 IS A LARGE WINDOW TO ALLOW MAXIMUM LIGHT TO ENTER THE RENOVATION THIS WINDOW WILL BE FROSTED IN ACCORDANCE WITH CLAUSE 11.1.13

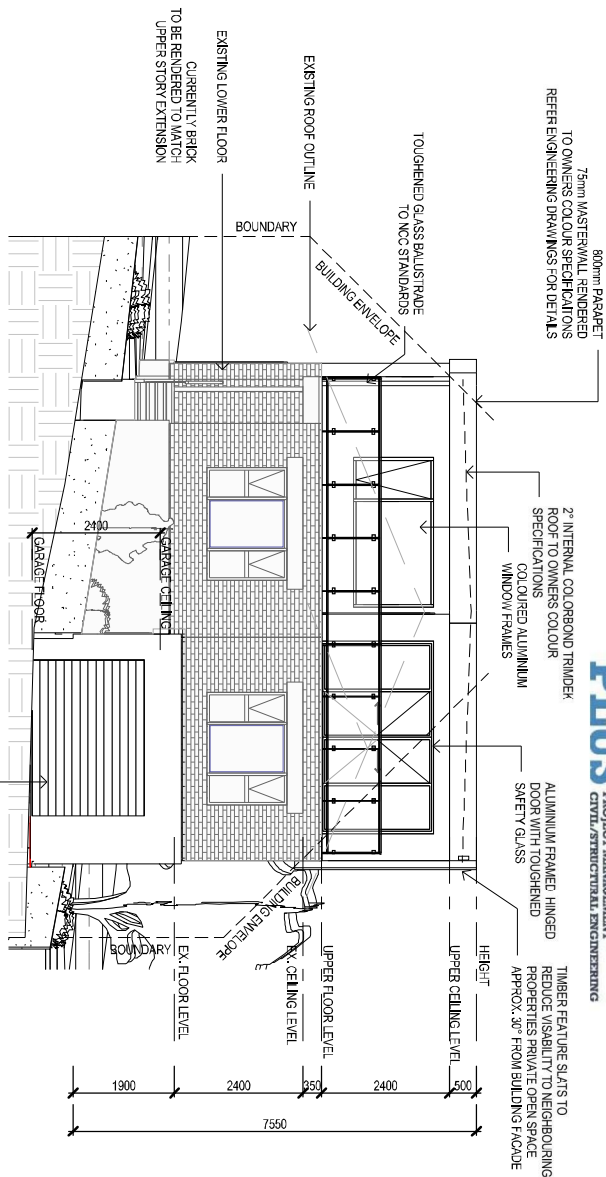
WINDOW 4 IS SIMILAR IN SIZE TO W3 BUT IS PROPOSED TO BE CLEAR GLASS THIS IS TO ALLOW VISUAL VIEWS TO THE WESTERN SIDE OF THE CITY AND LIGHT ACCESS AS PER DESIGN DRAWINGS PROPOSED TIMBER SLATS OR SIMILAR WILL BE INSTALLED OVER THE WINDOWS AS SHOWN TO REDUCE THE POSSIBILITY OF OVERLOOKING TO THE NEIGHBOURING PRIVATE OPEN SPACE AND GUIDE THE EYE TOWARDS THE NORTH

THE SAME TIMBER SLATS WILL ALSO BE USED ON THE DECK AS SHOWN TO PROVIDE THE SAME PRIVACY CONSIDERATIONS

IT IS PROPOSED TO ONLY USE A FEW OF THESE DEVICES AS ANY MORE WILL BLOCK LIGHT ACCESS AND VISUAL VIEW APPEAL. THE SLATS WILL PROVIDE PRIVACY FROM HIGH TRAFFIC AREAS THE PROPOSED DOES NOT HAVE DIRECT VISUAL ACCESS TO HABITABLE ROOMS OF THE NEIGHBOURING PROPERTY OR ANY GREATER ACCESS THAN THE WINDOWS IN THE LOWER STORY HAVE DUE TO THE INCREASED HEIGHT OF THE EXTENSION



75mm MASTERWALL RENOVATED TO OWNERS COLOUR SPECIFICATIONS REFER ENGINEERING DRAWINGS FOR DETAILS



NORTH ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6
POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
ALL FININGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS2055 WIND DESIGN: NI 28M/S
- TERRAIN CATEGORY: T1 (FULL SHIELDING)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

ISSUED FOR APPROVAL

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Client: **S. BEHERA & L. OLDHAM**
Project: **PROPOSED EXTENSION LAUNCESTON**
Address: **93 ARTHUR STREET LAUNCESTON**

Date Drawn: 20.12.17
Drawn: A. Taylor
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Project Name: **J. Pfeiffer**
Accreditation No.: **CC22111**

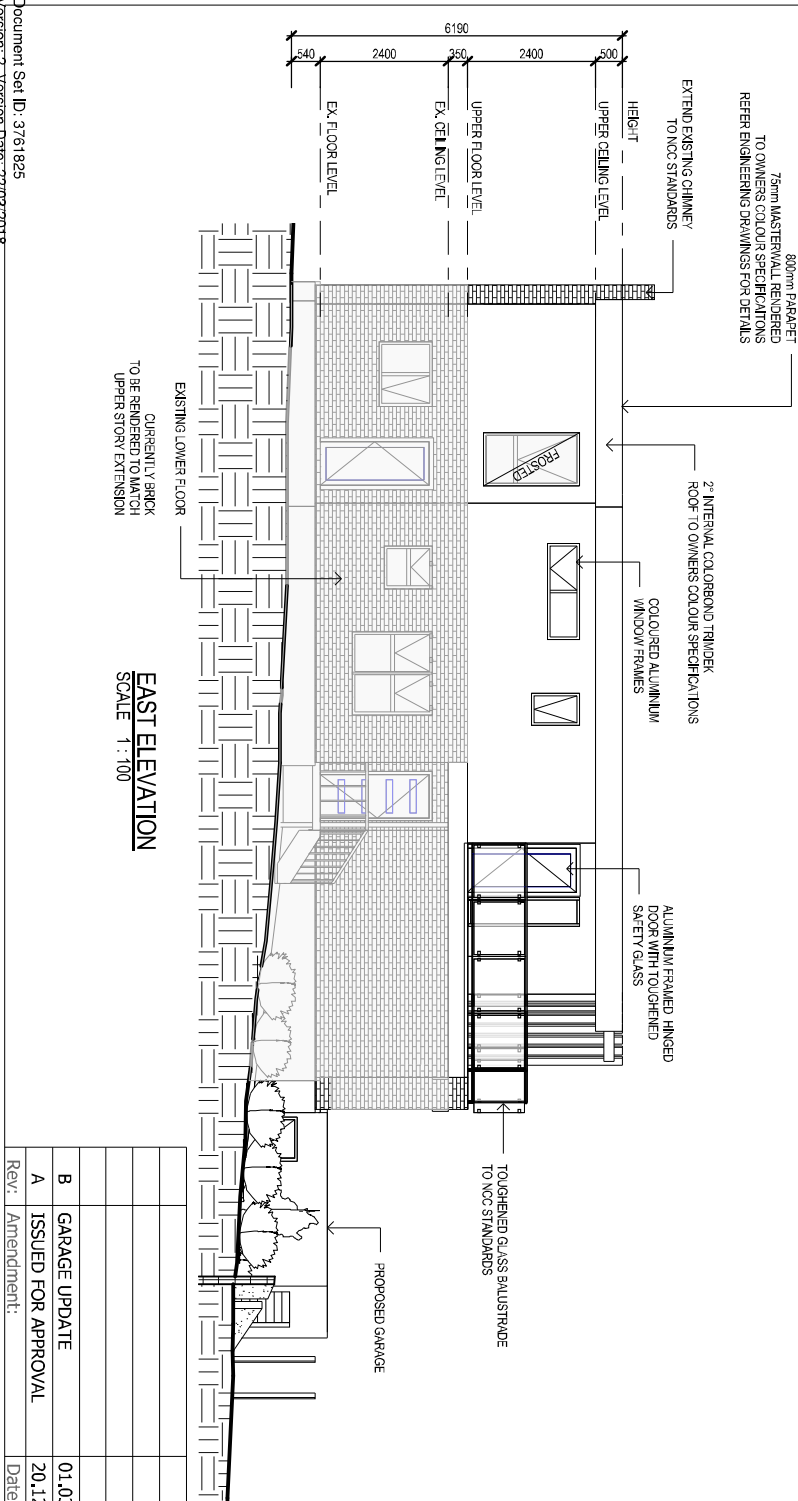
Mob 0417 562 283 or 0417 545 813
jask@engineeringplus.com.au
jpf@engineeringplus.com.au



Rev.	Amendment:	Date:	Int.
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B	GARAGE UPDATE	01.03.18	A,T

Drawing No: **28117**
A05

EAST ELEVATION
SCALE 1 : 100

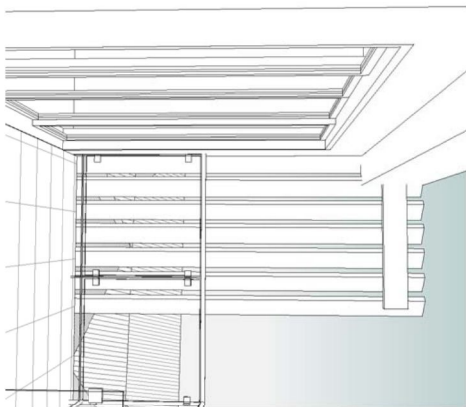


SOFFIT / EAVE LINED WITH 'HARD' FLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FININGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

STAIR CONSTRUCTION, BCA VOLUME 2 PART 3.9

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684.
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FININGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300X50 F5 TREATED PINE
- TREADS: 250X245 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

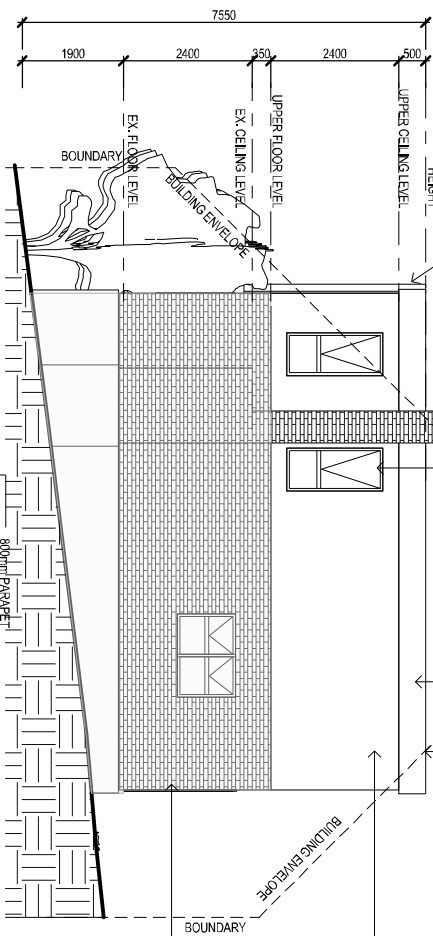


TIMBER FEATURE SLATS TO REDUCE VISIBILITY TO NEIGHBOURING PROPERTIES PRIVATE OPEN SPACE APPROX. 30° FROM BUILDING FACADE

TIMBER FEATURE SLATS TO REDUCE VISIBILITY TO NEIGHBOURING PROPERTIES PRIVATE OPEN SPACE APPROX. 30° FROM BUILDING FACADE

EXTEND EXISTING CHIMNEY TO NCC STANDARDS

80mm PARAPET 75mm MASTERWALL RENDERED TO OWNERS COLOUR SPECIFICATIONS REFER ENGINEERING DRAWINGS FOR DETAILS

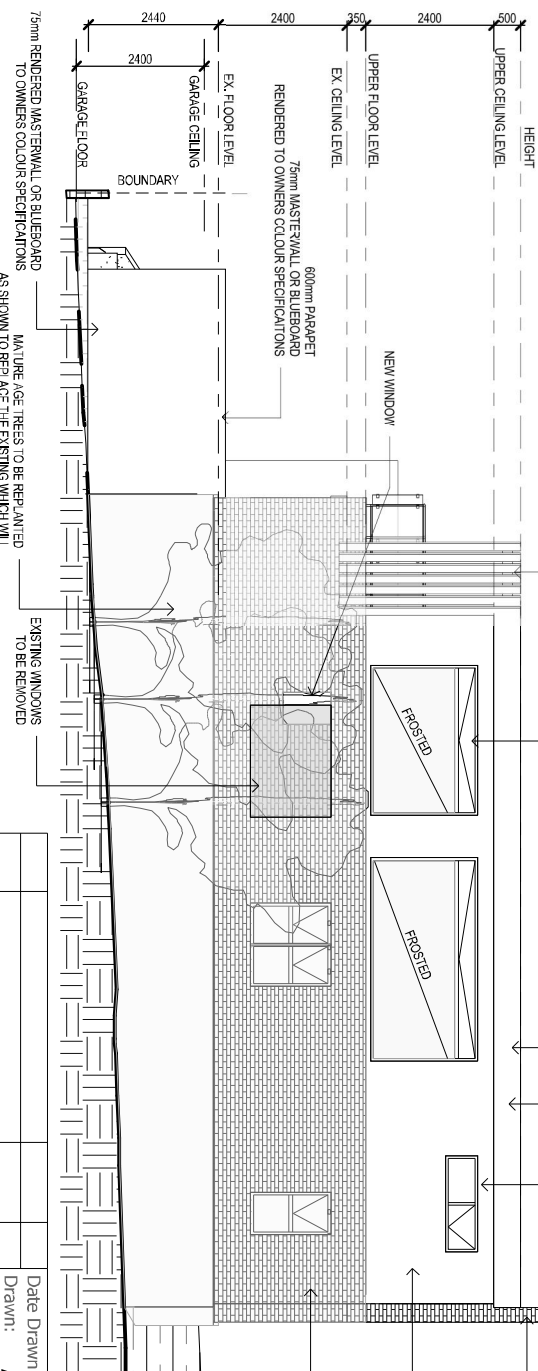


SOUTH ELEVATION
SCALE 1 : 100

2' INTERNAL COLOURBOND TRIMMER ROOF TO OWNERS COLOUR SPECIFICATIONS NEW FEATURE WINDOWS TO BE FROSTED TO 1.7m FLOOR HEIGHT

80mm PARAPET 75mm MASTERWALL RENDERED TO OWNERS COLOUR SPECIFICATIONS REFER ENGINEERING DRAWINGS FOR DETAILS

EXTEND EXISTING CHIMNEY TO NCC STANDARDS



WEST ELEVATION
SCALE 1 : 100

75mm RENDERED MASTERWALL OR BLUEBOARD TO OWNERS COLOUR SPECIFICATIONS

EXISTING WINDOWS TO BE REMOVED

DATE DRAWN: 20.12.17
DRAWN: A. Taylor
CHECKED: A. Taylor
APPROVED: J. Pfeiffer
SCALE: AS SHOWN @ A3

CLIENT: S. BEHERA & L. OLDHAM
PROJECT: PROPOSED EXTENSION
ADDRESS: 93 ARTHUR STREET
LAUNCESTON

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A	ISSUED FOR APPROVAL	20.12.17	A,T	CC2211T
B	GARAGE UPDATE	01.03.18	A,T	

