



29 August 2017

Launceston City Council
Planning Department
P O Box 396
Launceston Tas 7250

Dear Iain,

Re: Proposed new shed – 12 Binalong Ave, St Leonards

Proposal to demolish an existing shed and replace with new shed/garage and crossover

10.0 General Residential

10.4.2 Setbacks and Building Envelope for all dwellings

A2 Does not comply

P2 A garage or carport must have a setback from a primary frontage that is compatible with the existing garages or carports in the street, taking into account any topographical constraints.

The current garage to be removed currently sits on the front boundary on the street scape. As the shed is part of the street, a new garage will be compatible as it will fit with what people remember of the topography, refer to image below.

Existing shed to be removed



10.4.5 Width of openings for garages and carports for all dwellings.

A1 Does not comply

P1 The garage doors are broken in to two and are both less than 6m wide.

10.4.11 Outbuildings, swimming pools and fences

A1.1 Does not comply

P1 Outbuildings must not detract from the character of the surrounding area or the amenity of adjoining lots, having regard to:

- a) As an existing shed is being replaced. It won't change the current streetscape.
- b) Adjoining the site where the shed is. There is a shed & carport directly next to it on the neighbouring property. So it won't create problems with overshadowing.
- c) There is a slightly smaller carport/garage on the adjoining lot. It is right on the boundary and appears to cover the same width as the existing shed on our site.



- d) Due to the similar style of the proposed shed, it should detract from the existing dwelling. As the dwelling is set back the shed should not impact any more than what is currently there.
- e) The topography of the site is quite flat with fences along the boundary. Due to the similar nature of the proposed shed/garage, it should not detract from the character of the site.

E4 Road & Railway Assets Code

E4.6.2 Road Access and Junctions






A2 Does Not Comply

P2 For roads in an area subject to a speed limit of 60km/h or less, accesses and junctions must be safe and not unreasonably impact on the efficiency of the road, having regard to:

- a) Binalong Avenue comes off St Leonards Road. The only traffic that would come through this area would be to visit people on that street. As this is the case, traffic in the area would be minimal
- b) The road does not continue so is not used as a thoroughfare.
- c) Being a general road it would be 50km through the area. But in the context of the place, traffic would not need to move that quickly.
- d) There is only one access point to Binalong Avenue.
- e) The need for the access is so that cars can be parked into the proposed garage.
- f) N/A
- g) N/A

Kind regards



Drew den Hartog

13 November 2017

Launceston City Council
Planning Department
P O Box 396
Launceston Tas 7250

Dear Iain,

Re: Proposed new shed – 12 Binalong Ave, St Leonards

Proposal to demolish an existing shed and replace with new shed/garage and crossover

10.0 General Residential

10.4.2 Setbacks and Building Envelope for all dwellings

A1 Does not comply

- P1 (a) The existing shed (that is to be demolish) is on the boundary. Having this as a precedent. The proposed new shed/ garage will start covering the same area, same frontage setback as the old shed. Given the topography and fall with some minor constraints of existing building on-site, the proposed shed/garage location simply fit in were the old shed aiming to have a minor impact of the street. The slightly larger – proposed length and height will have minor impact as this simply becomes an extension of the old shed (see dwg.10 Street Montage). Thus, taking all this into account the proposed shed/ garage should be compatible with the existing building in the street. – we wish to apply for a variation and discretion.

Existing shed
to be removed





10.4.5 Width of openings for garages and carports for all dwellings.

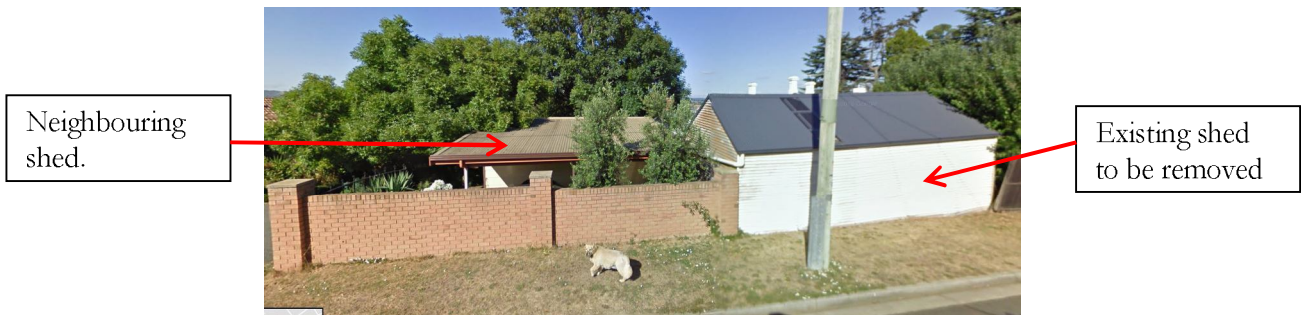
A1 N/A

10.4.11 Outbuildings, swimming pools and fences

A1.1 Does not comply

P1 Outbuildings must not detract from the character of the surrounding area or the amenity of adjoining lots, having regard to:

- a) As an existing shed is being replaced. The new shed/garage slightly larger – length and height are merely an extension of the old shed. This should have minimal visual impact on the streetscape; as the presence of the existing shed and we are simply updating and making it better. (see dwg.10 Street Montage). The two garage doors will be Tilt door system, going by this the door cladding will match the prop. Shed/garage cladding for the seamless look and continuous wall.
- b) Overshadowing of adjoining lots; due to the existing trees and shed – shadowing to the neighbouring lots should be at minor and minimal. (see dwg. 09a, b, and c for more details)
- c) Refer to dwg.02 Site Locality Plan. In comparison to the area our proposed shed/garage is neither too small or too large and is within the same footprint as the adjoining lots. Although the Proposed shed/garage is within the boundary, this should not detract from the character of the surrounding area.



- d) As we have an existing shed on site and the proposed shed is merely an upgrade. The Due to the similar style of the proposed shed, it should not detract from the existing dwelling.
- e) The proposed shed/garage is located at the same area of the existing shed. This is to minimise the impact on-site and take advantage of the existing topography we have on-site.



E4 Road & Railway Assets Code

E4.6.2 Road Access and Junctions



St Leonards Road

Ex Residence

A2 Does Not Comply

P2 For roads in an area subject to a speed limit of 60km/h or less, accesses and junctions must be safe and not unreasonably impact on the efficiency of the road, having regard to:

- a) Binalong Avenue comes off St Leonards Road. The only traffic that would come through this area would be to visit people on that street. As this is the case, traffic in the area would be minimal
- b) The road does not continue so is not used as a thoroughfare.
- c) Being a general road it would be 50km through the area. But in the context of the place, traffic would not need to move that quickly.
- d) There is only one access point to Binalong Avenue.
- e) The need for the access is so that cars can be parked into the proposed garage.
- f) N/A
- g) N/A

Kind regards,
Stephen Wallen