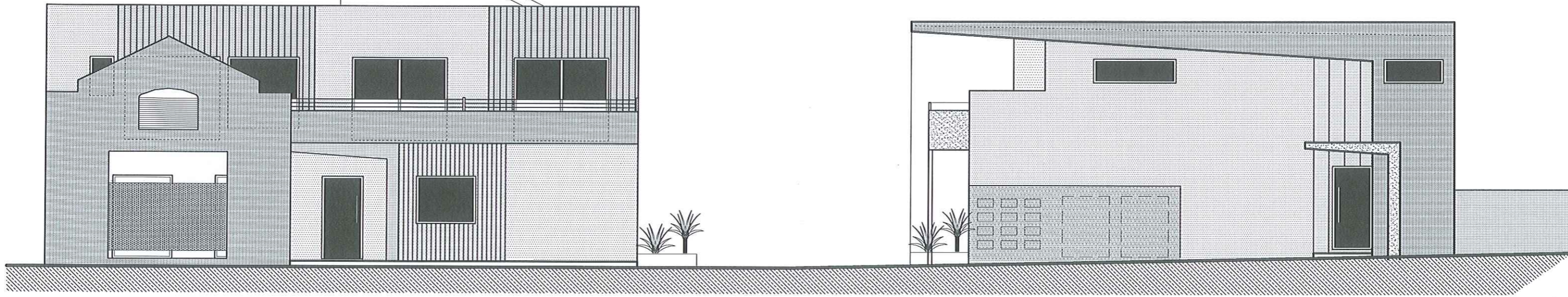


**Council Agenda - 7 February 2019 - Agenda Item 8.3
 Attachment 4 - Plans - 27-29 Leslie Street, South Launceston**



**PROPOSED UNITS
 FOR : C. & B. GLEESON
 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON**

sheet no.	01	of	13	cover sheet
	02	of	13	survey plan extract
	03	of	13	site plan
	04	of	13	planning compliance
	05	of	13	landscape plan
	06	of	13	floor plan - unit 1 (stage 1)
	07	of	13	elevations - unit 1 (stage 1)
	08	of	13	floor plan - unit 1 (stage 2)
	09	of	13	floor plan - units 2,3,4 (stage 2)
	10	of	13	floor plan - unit 5 (stage 2)
	11	of	13	elevations - stage 2
	11a	of	13	retaining wall section
	12	of	13	elevations - stage 2
	13	of	13	3D

job no.	6472	
corrosion environment	moderate	
BAL rating	BAL tba(refer to report by UDS)	
climate zone	7 (to BCA)	
cert. title	SP 47607/9 & 47607/10	
property ID	6622898	
municipality	zone - general residential	
areas	land size	2053m2
	site area - current development	418.17m2 (approx)
	site area - master unit	132.34m2
	site area - units 1-5	504.94m2
	site cover	51 % (approx)
	impervious surface	90 % (approx)

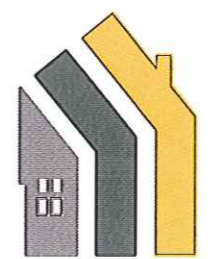
PLANNING

13 DEC 2018

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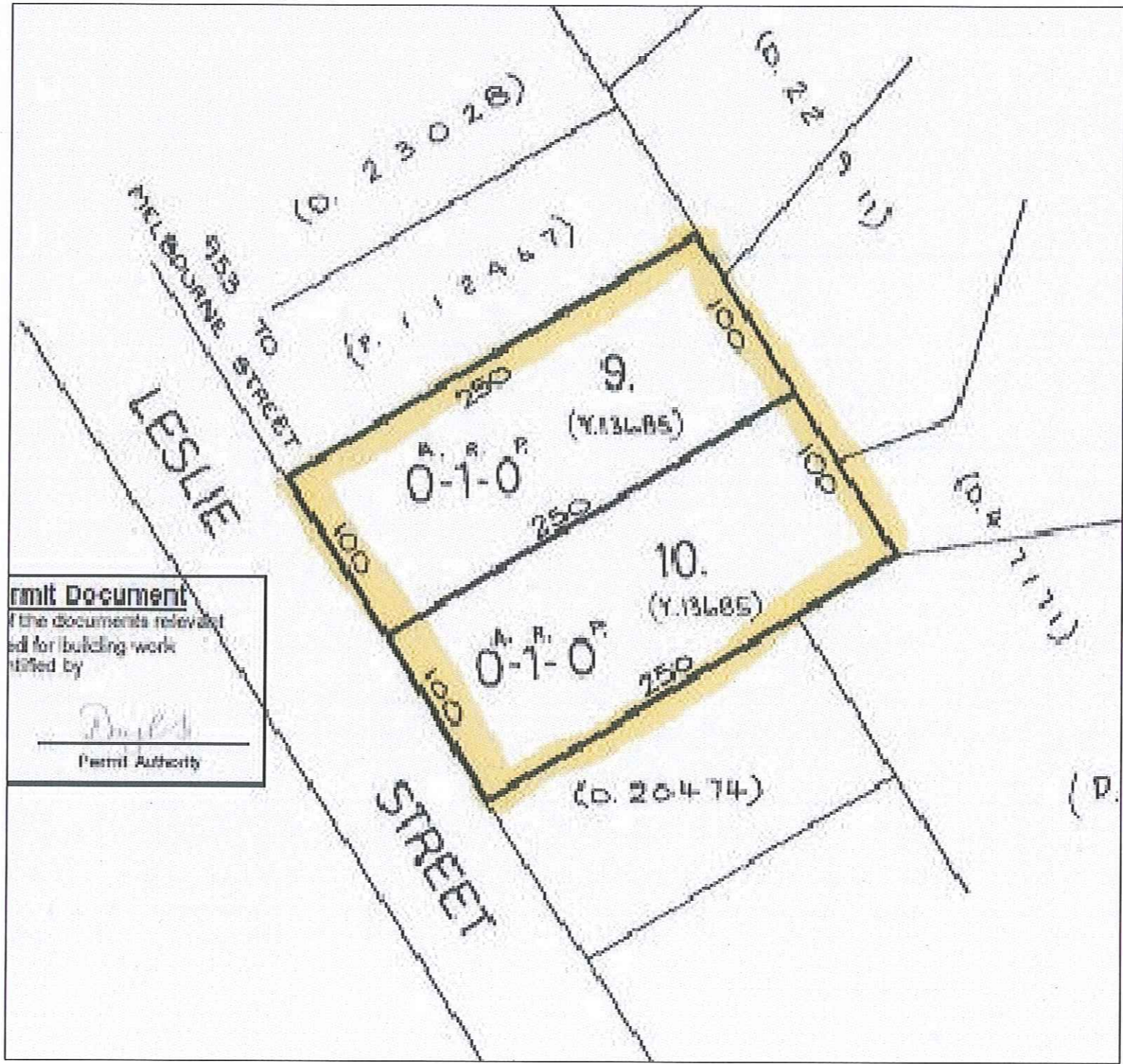


HIA member



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Permit Document
 If the documents reviewed
 are used for building work
 notified by

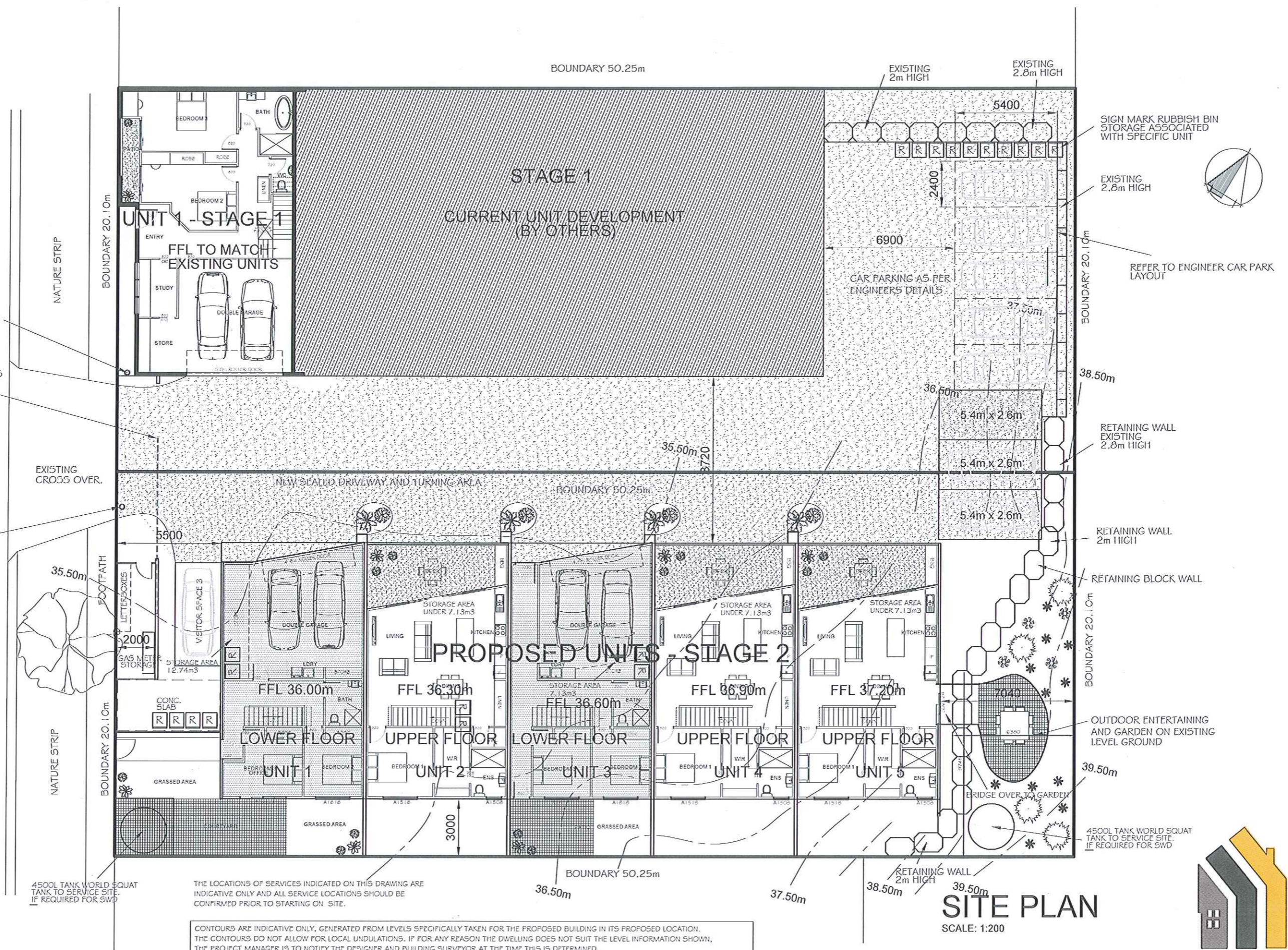
[Signature]
 Permit Authority

SURVEY EXTRACT
 THE SURVEY EXTRACT ON THIS SHEET IS AS RECEIVED AT THE TIME OF THESE PLANS.
 IT IS THE RESPONSIBILITY OF THE OWNER & BUILDER TO CLARIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS ON SITE.
 IF ANY DOUBT - CONTACT A SUITABLY QUALIFIED LAND SURVEYOR.
 ALL SETOUT DIMENSIONS ARE TO BOUNDARIES ONLY.
 DO NOT SETOUT FROM FENCES, DRIVEWAYS, ROADWAYS ETC.

SURVEY EXTRACT

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	1.		sheet: 02 of 13	print date
	2.		date: JUNE 2018	05 DEC 2018
	3.		scale 1;100	
	4.		bal tba	





THE LOCATIONS OF SERVICES INDICATED ON THIS DRAWING ARE INDICATIVE ONLY AND ALL SERVICE LOCATIONS SHOULD BE CONFIRMED PRIOR TO STARTING ON SITE.

CONTOURS ARE INDICATIVE ONLY, GENERATED FROM LEVELS SPECIFICALLY TAKEN FOR THE PROPOSED BUILDING IN ITS PROPOSED LOCATION. THE CONTOURS DO NOT ALLOW FOR LOCAL UNDULATIONS. IF FOR ANY REASON THE DWELLING DOES NOT SUIT THE LEVEL INFORMATION SHOWN, THE PROJECT MANAGER IS TO NOTIFY THE DESIGNER AND BUILDING SURVEYOR AT THE TIME THIS IS DETERMINED.

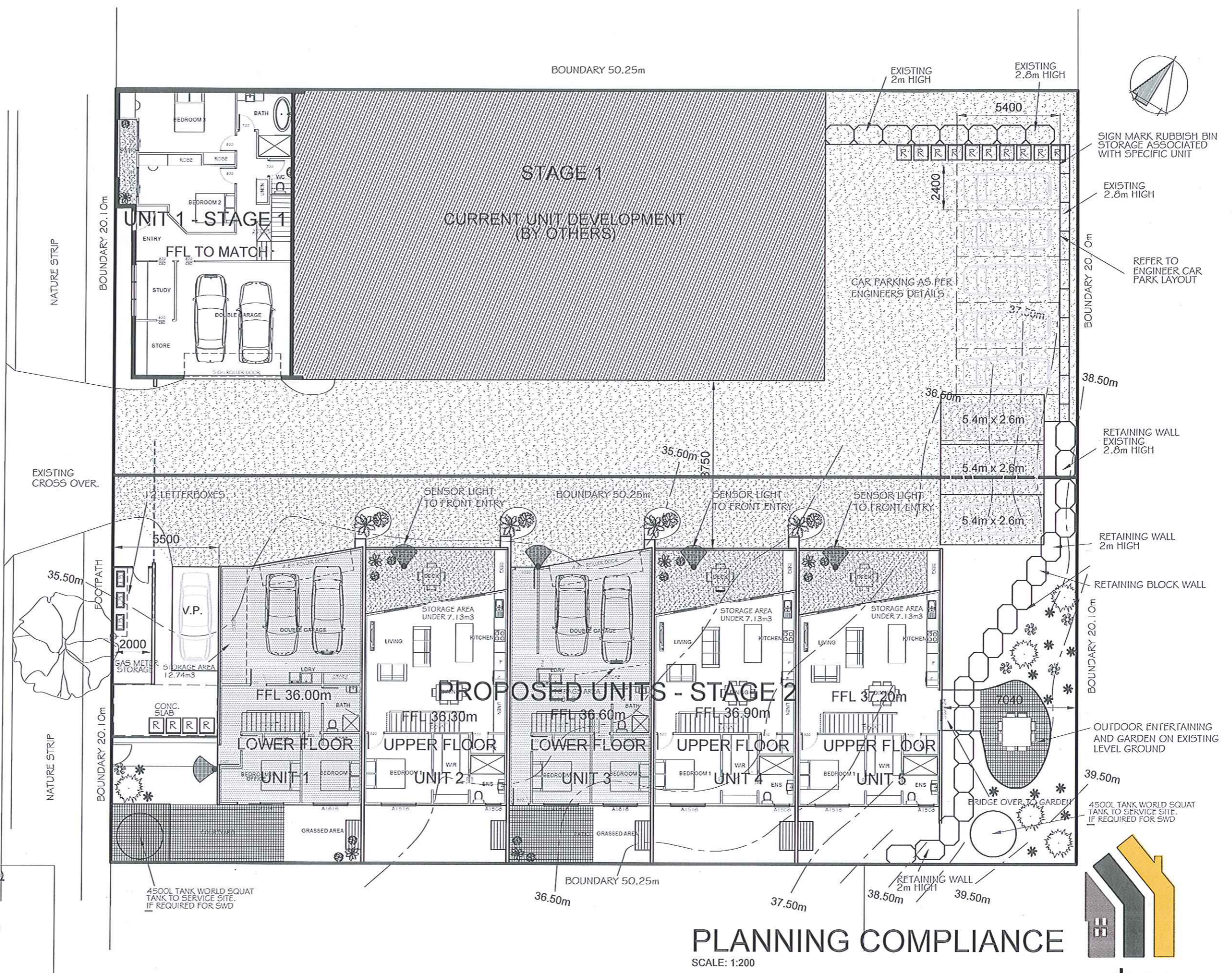
SITE PLAN
 SCALE: 1:200

<p>THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAW AND ARE NOT TO BE COPIED IN ANY FORM, OR USED FOR ANY ADVERTISING PURPOSES (INCLUDING INTERNET ADVERTISING) WITHOUT WRITTEN PERMISSION OF URBAN DESIGN SOLUTIONS / JASON VAN ZETTEN</p>	amendment
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PROPOSED UNITS FOR : C. & B. GLEESON
LOT : 9-10, NO. 27-29
LESLIE STREET
SOUTH LAUNCESTON

dwg no.	6472	version -	03
sheet:	03	of	13
date:	JUNE 2018	print date	13 DEC 2018
scale	1:200		
bal	tba	drawn:	JVZ

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- CAR PARKING SPACES AS PER PLAN, TO AS2890. CONCRETE OR BITUMEN SURFACE FINISH WITH MIN 1:50 FALL. DIRECT ALL STORMWATER TO SPOON DRAINS / PITS OR GRATE DRAINS TO STORMWATER SYSTEM
- V.P. = DESIGNATED VISITOR PARKING
- WASTE STORAGE AREA (MIN 1.5m²) PATH ACCESS & CONCRETE BASE
- FENCING - BETWEEN UNITS 1800mm HIGH COLORBOND OR TIMBER PALING, BETWEEN UNITS WITH ACCESS GATES. SIDE AND REAR BOUNDARY FENCES MIN 1500mm
- CLOTHES LINE / DRYING FACILITY OUTDOOR CLOTHES DRYING AREA TO BE LOCATED ADJACENT AND ACCESSIBLE FROM THE LAUNDRY, BEHIND THE BUILDING LINE. CONCRETE OR PAVED PATH FROM BUILDING TO CLOTHES LINE
- SENSOR LIGHTS ARE TO BE FITTED TO THE FRONT ENTRY AREA OF ALL BUILDINGS
- LETTER BOX

- PLANT SCHEDULE - (OR SIMILAR SPECIES BY OWNER)**
- * *Dianella Tasmanica* - (Native flax lily)
spreading perennial to 60cm, Delicate blue flowers in summer, followed by purple/blue berries in autumn. Sunny to partially shaded positions.
 - * *Linum Marginale* - (Native flax lily)
A slender perennial herb 60cm, open cluster of blue flowers in spring to autumn. good filter for the dry garden.
 - * *Phebalium Illumination*
growing 4 - 6M, variegated foliage, with profusion of small white flowers

amendment
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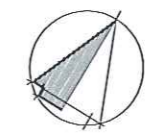
PROPOSED UNITS FOR : C. & B. GLEESON
 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON

dwg no.	6472	version -	03
sheet:	04	of	13
date:	JUNE 2018		
scale	1,200	13 DEC 2018	
bal	tba	drawn:	JVZ

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SIGN MARK RUBBISH BIN STORAGE ASSOCIATED WITH SPECIFIC UNIT



REFER TO ENGINEER CAR PARK LAYOUT

RETAINING WALL EXISTING 2.8m HIGH

RETAINING WALL 2m HIGH

RETAINING BLOCK WALL

OUTDOOR ENTERTAINING AND GARDEN ON EXISTING LEVEL GROUND

4500L TANK WORLD SQUAT TANK TO SERVICE SITE, IF REQUIRED FOR SWD

4500L TANK WORLD SQUAT TANK TO SERVICE SITE, IF REQUIRED FOR SWD

THE LOCATIONS OF SERVICES INDICATED ON THIS DRAWING ARE INDICATIVE ONLY AND ALL SERVICE LOCATIONS SHOULD BE CONFIRMED PRIOR TO STARTING ON SITE.

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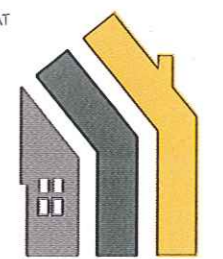
LANDSCAPE PLAN
 SCALE: 1:200

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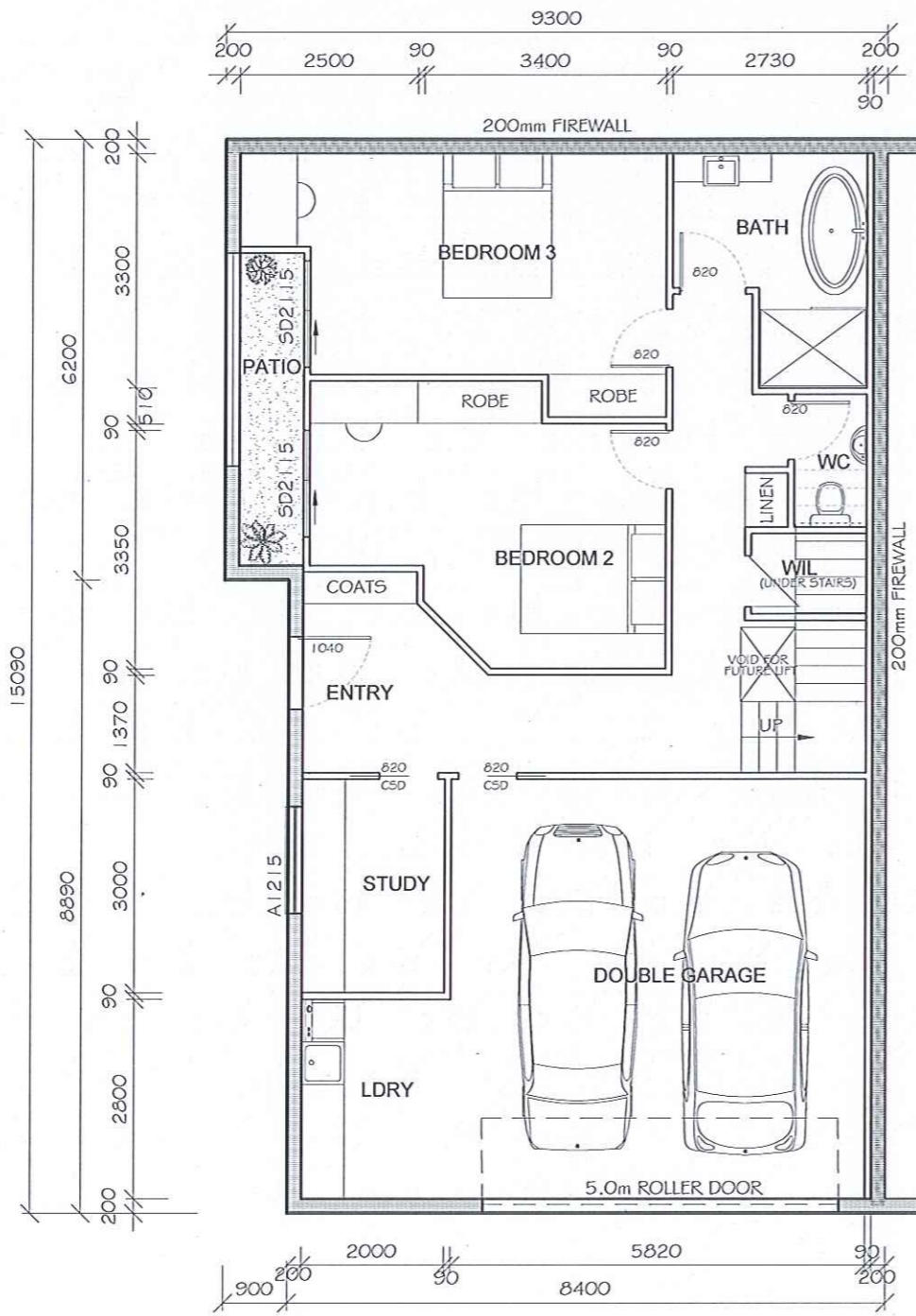
amendment
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PROPOSED UNITS FOR : C. & B. GLEESON
LOT : 9-10, NO. 27-29
LESLIE STREET
SOUTH LAUNCESTON

dwg no.	6472	version -	03
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date:	JUNE 2018		
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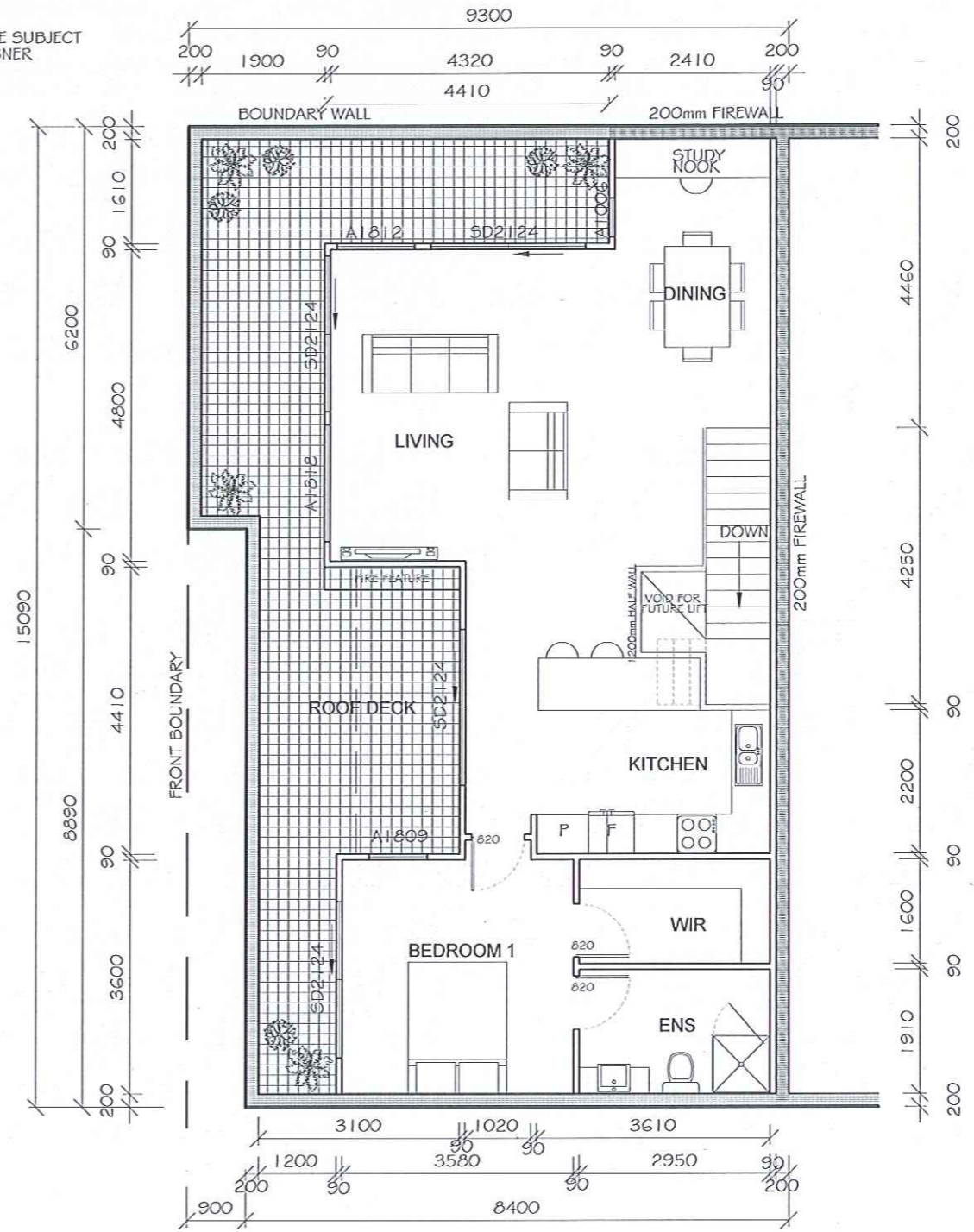


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LOWER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 118.06m² (12.71 sq)
 PATIO AREA 3.96m²

NOTE: DIMENSIONS ARE SUBJECT TO SITE VISIT BY DESIGNER



UPPER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 85.12m² (9.16 sq)
 ROOF DECK AREA 36.90m²

FLOOR PLANS
 SCALE: 1:100

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PROPOSED UNITS FOR : C. & B. GLEESON
 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON

dwg no.	6472	version -	03
sheet	06 of 13	print date	
date:	JUNE 2018		
scale	1,100		
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UNIT 1 (STAGE 1)

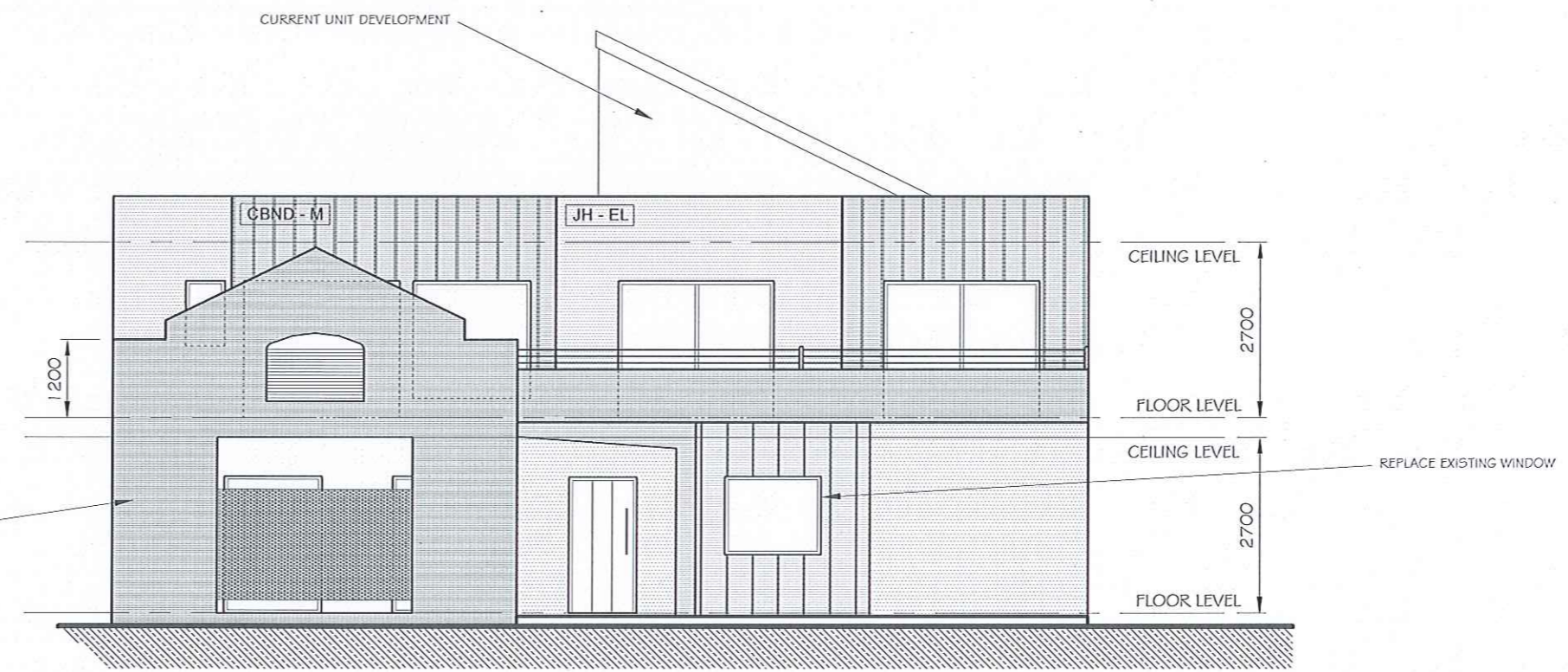


UNIT 1 (STAGE 1)

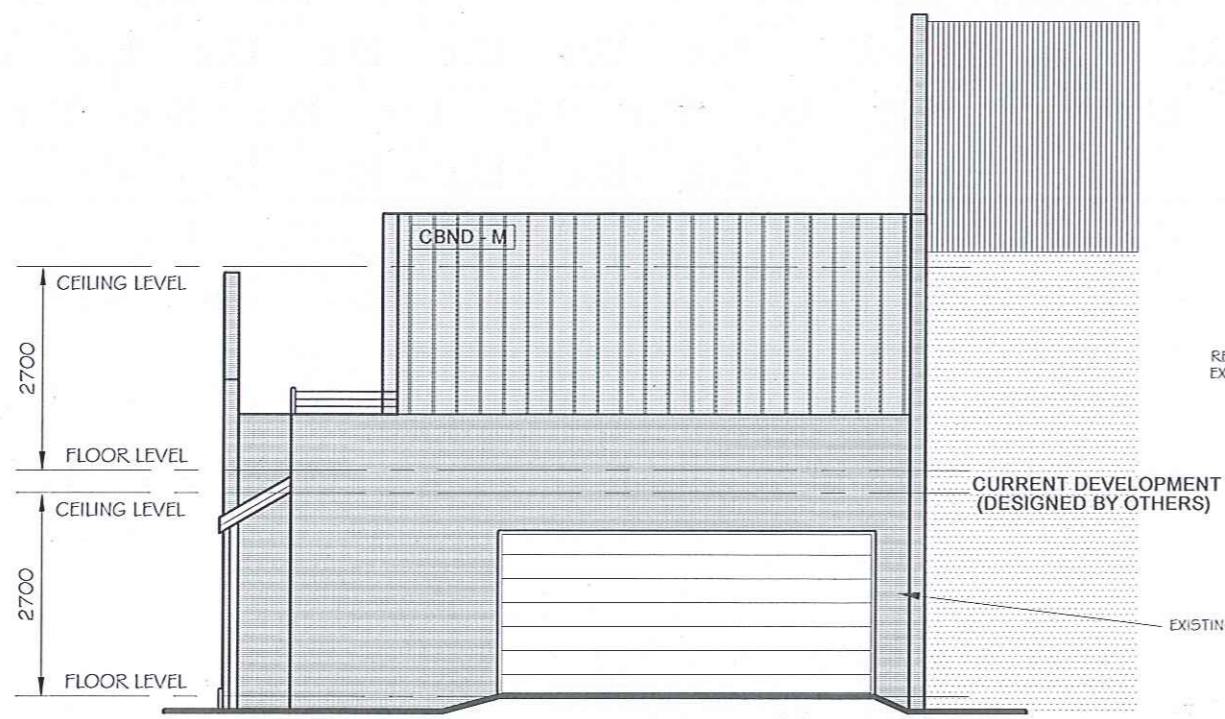
CBND - M
 COLORBOND STEEL MATT SHEET CLADDING
 COLORBOND COLOUR TO SELECTION. INSTALLED STRICTLY TO MANUFACTURERS SPECIFICATIONS

JH - EL
 JAMES HARDIE EASY LAP CLADDING
 INSTALLED STRICTLY TO MANUFACTURERS SPECIFICATIONS

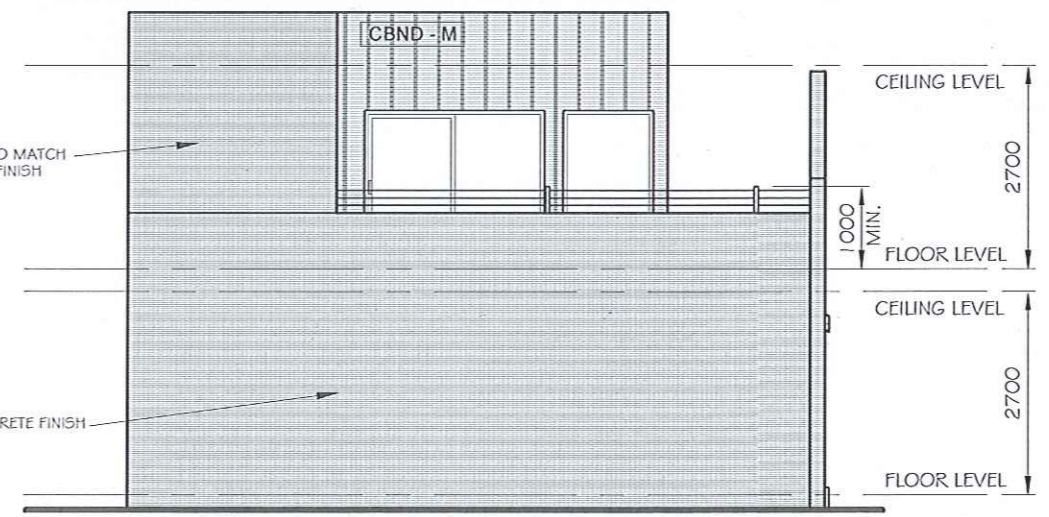
EXISTING CONCRETE FINISH



WEST / STREETFRONT ELEVATION
 SCALE: 1:100

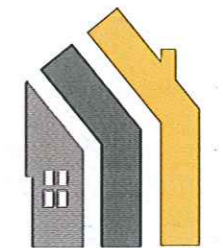


SOUTH ELEVATION
 SCALE: 1:100

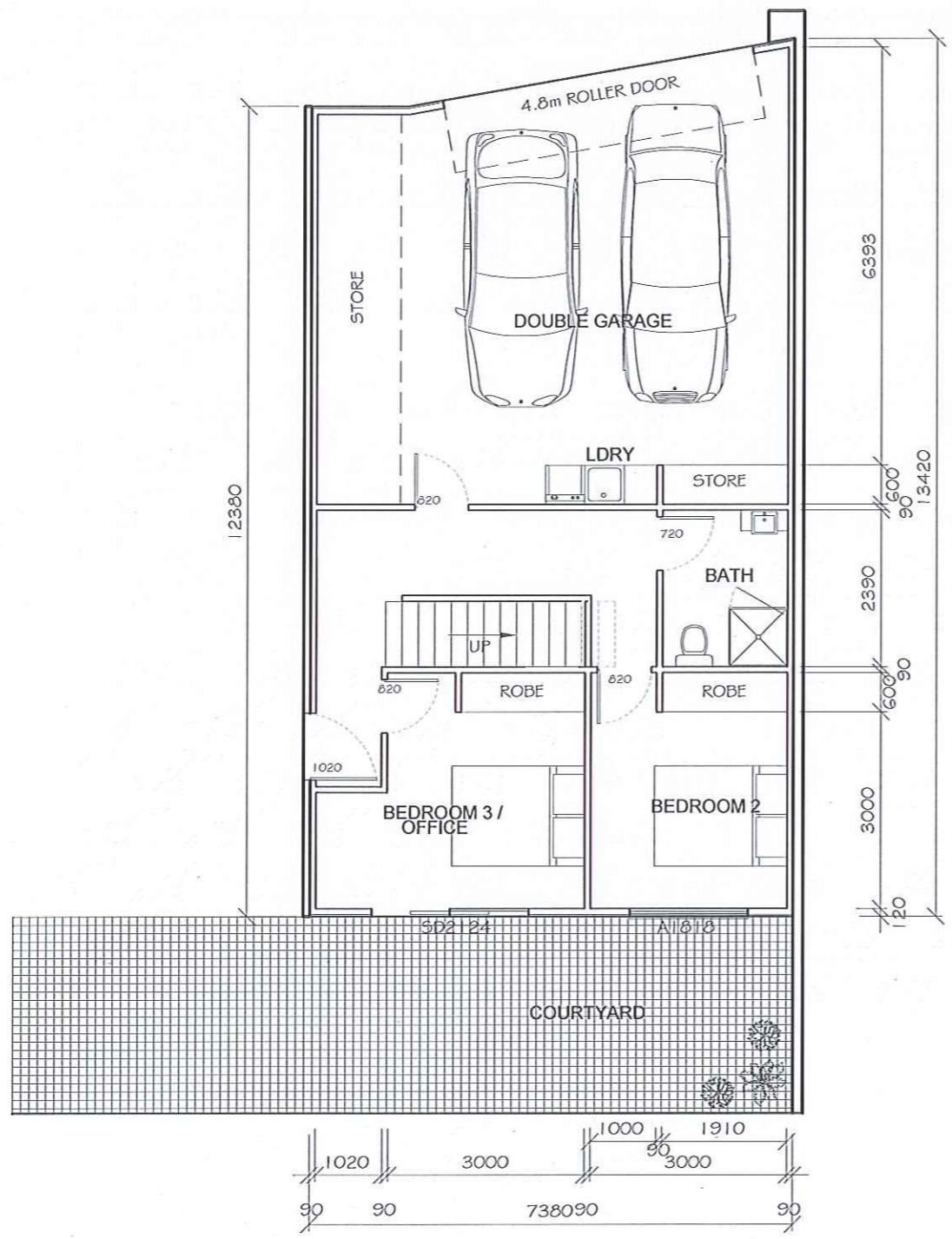
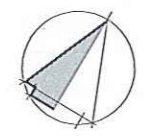


NORTH ELEVATION
 SCALE: 1:100

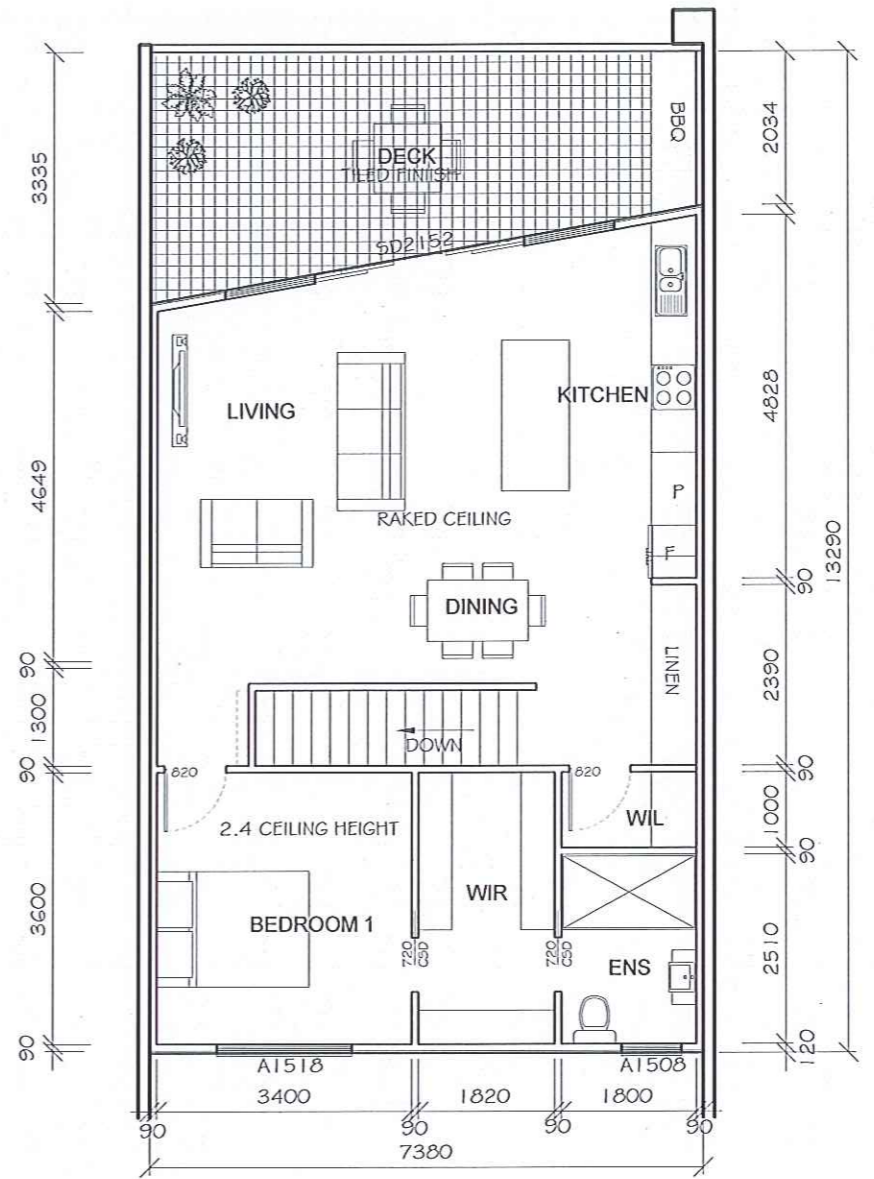
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	1.		sheet: 07 of 13	print date
	2.		date: JUNE 2018	5 DEC 2018
	3.		scale 1:100	
	4.		bal tba	drawn: JVZ



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LOWER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 94.43m² (10.16 sq)
 COURTYARD AREA 35.76m²



UPPER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 78.27m² (8.43 sq)
 DECK AREA 19.81m²

FLOOR PLANS
 SCALE: 1:100

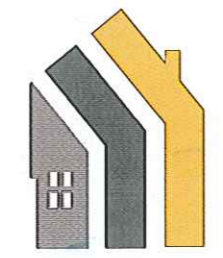
UNIT 1 (STAGE 2)

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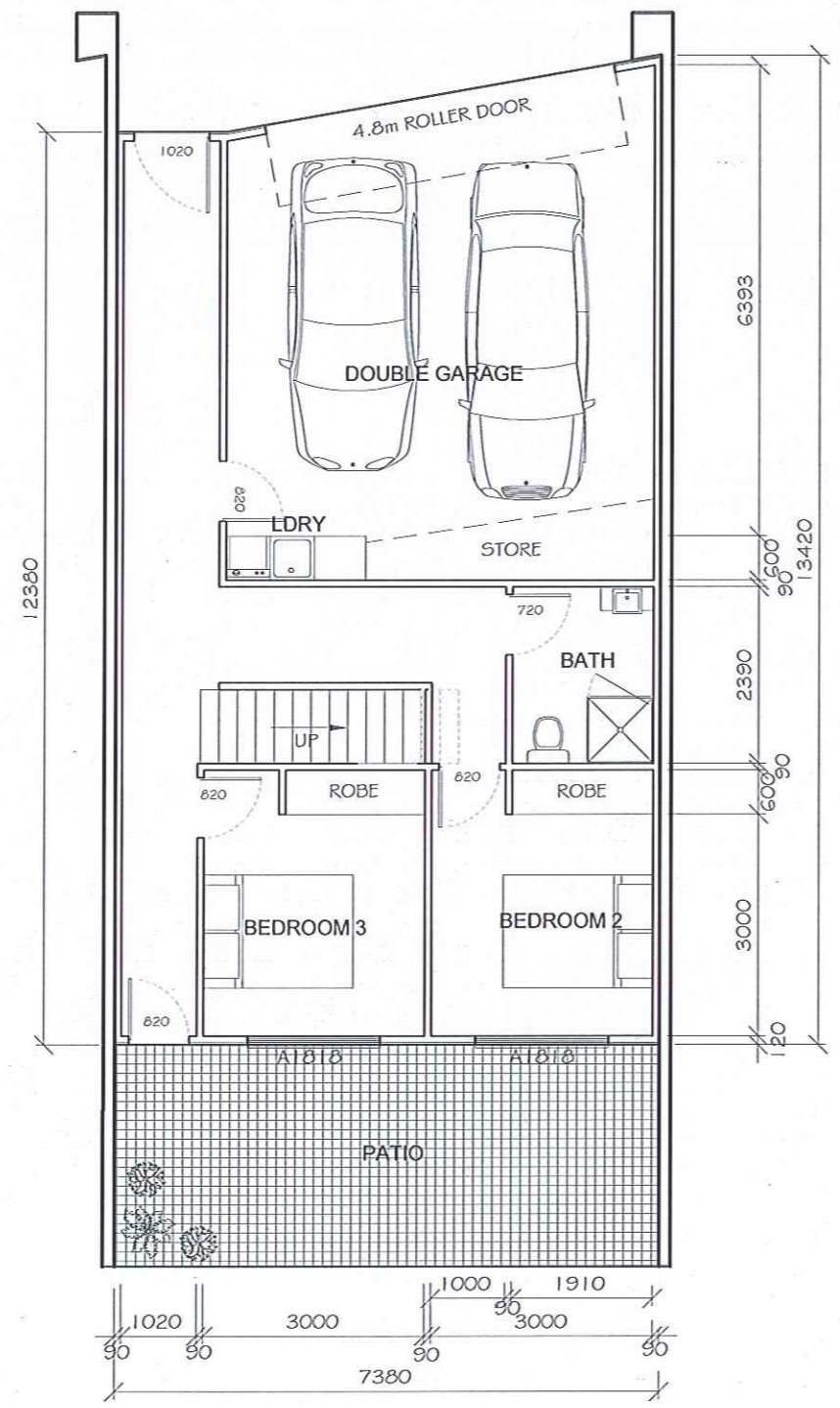
amendment
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PROPOSED UNITS FOR : C. & B. GLEESON
 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON

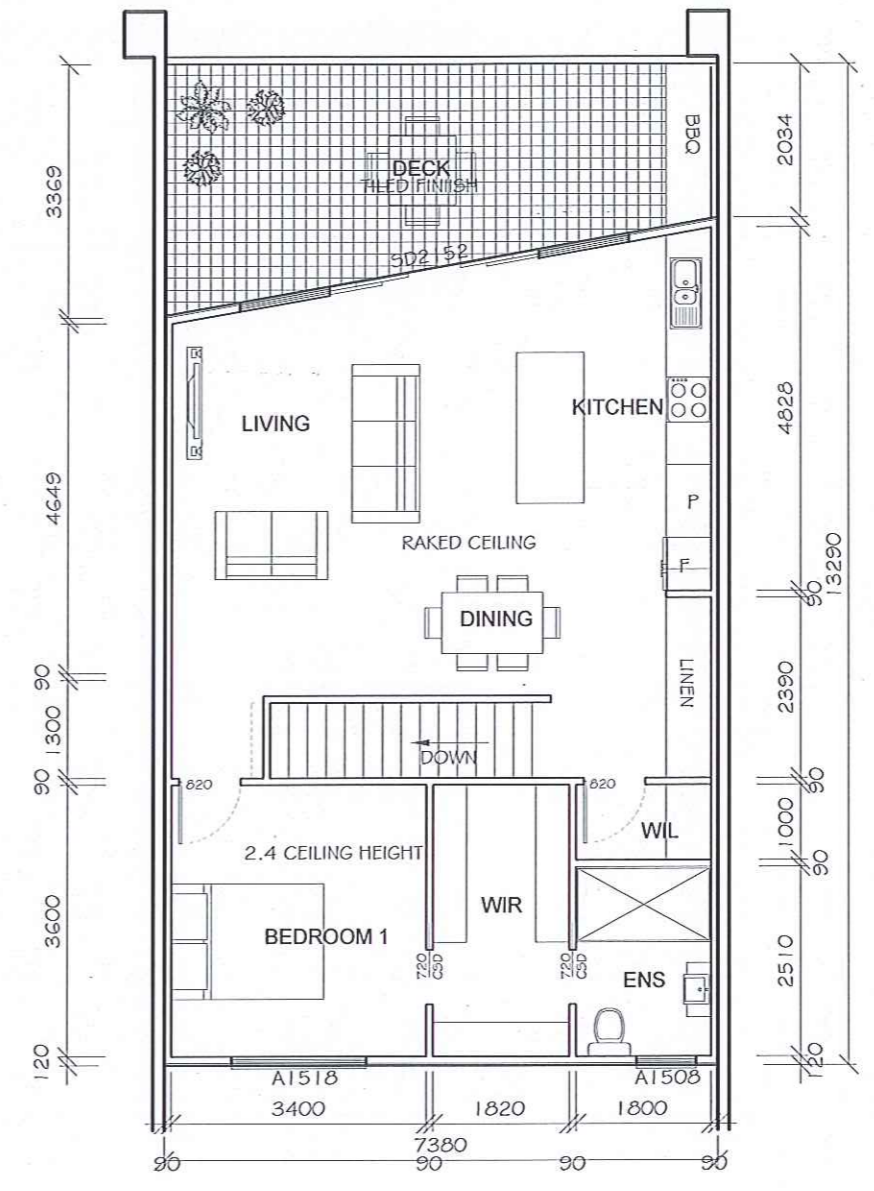
dwg no.	6472	version -	03
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bal	tba	drawn:	JVZ



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LOWER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 94.43m² (10.16 sq)
 PATIO AREA 22.14m²



UPPER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 78.27m² (8.43 sq)
 DECK AREA 19.81m²

FLOOR PLANS
 SCALE: 1:100

UNIT 2, 3, 4 (STAGE 2)

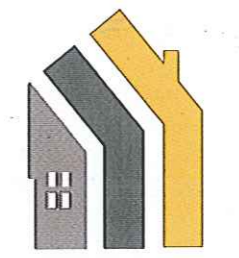
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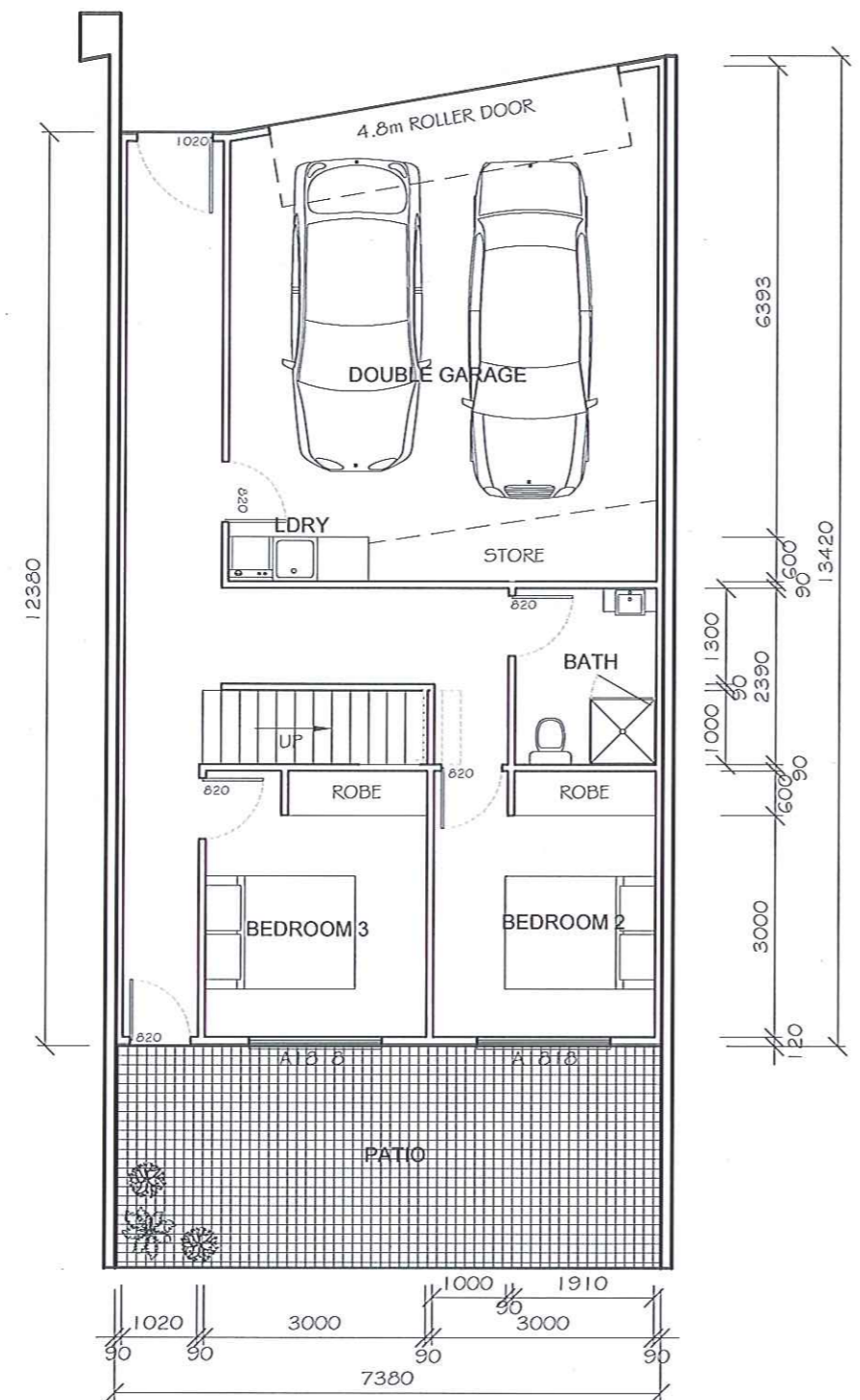
PROPOSED UNITS FOR : C. & B. GLEESON
 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON

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sheet:	09 of 13	print date
date:	JUNE 2018	
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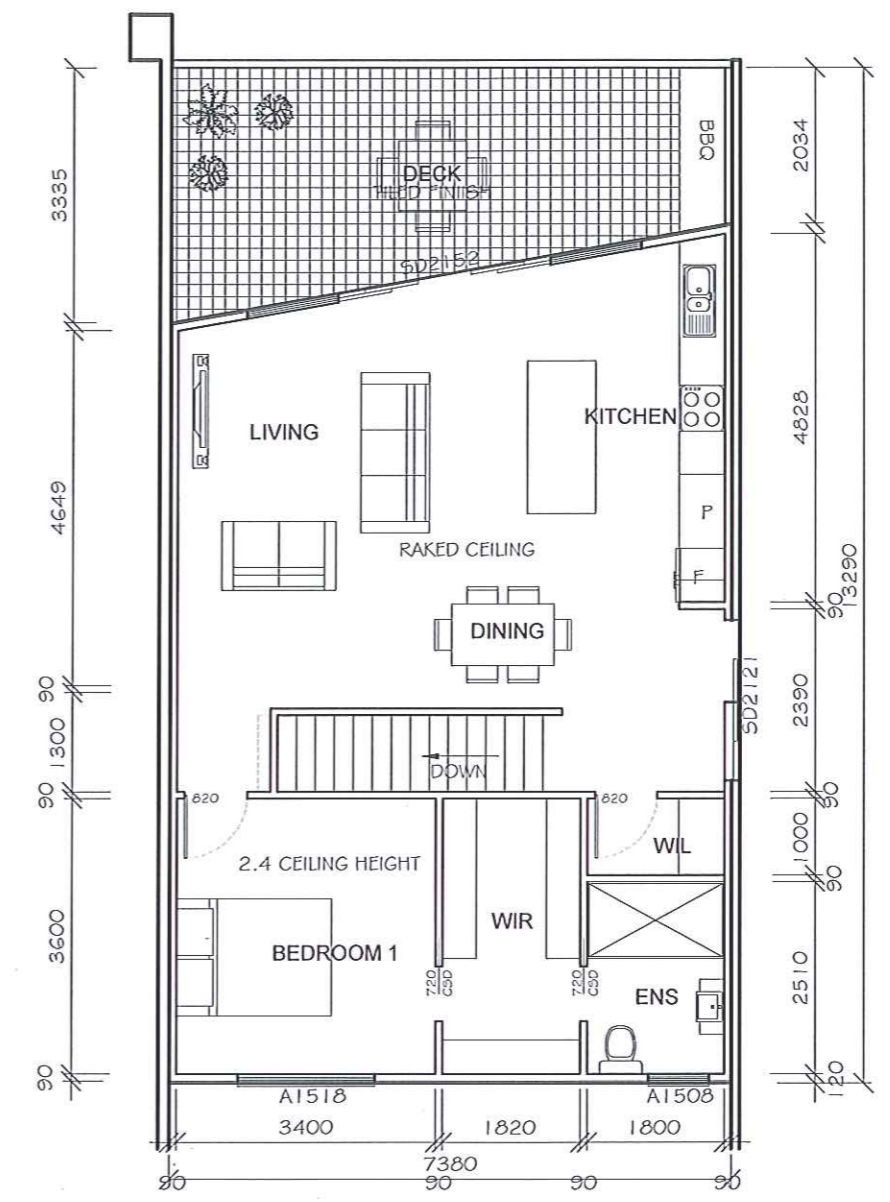
05 DEC 2018



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LOWER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 94.43m² (10.16 sq)
 PATIO AREA 22.14m²



UPPER FLOOR PLAN
 SCALE: 1:100
 FLOOR AREA 78.27m² (8.43 sq)
 DECK AREA 19.81m²

FLOOR PLANS
 SCALE: 1:100

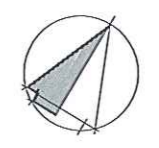
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PROPOSED UNITS FOR : C. & B. GLEESON
 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON

dwg no.	6472	version -	01
sheet:	10	of	13
date:	JUNE 2018	print date	5 DEC 2018
scale	1;100		
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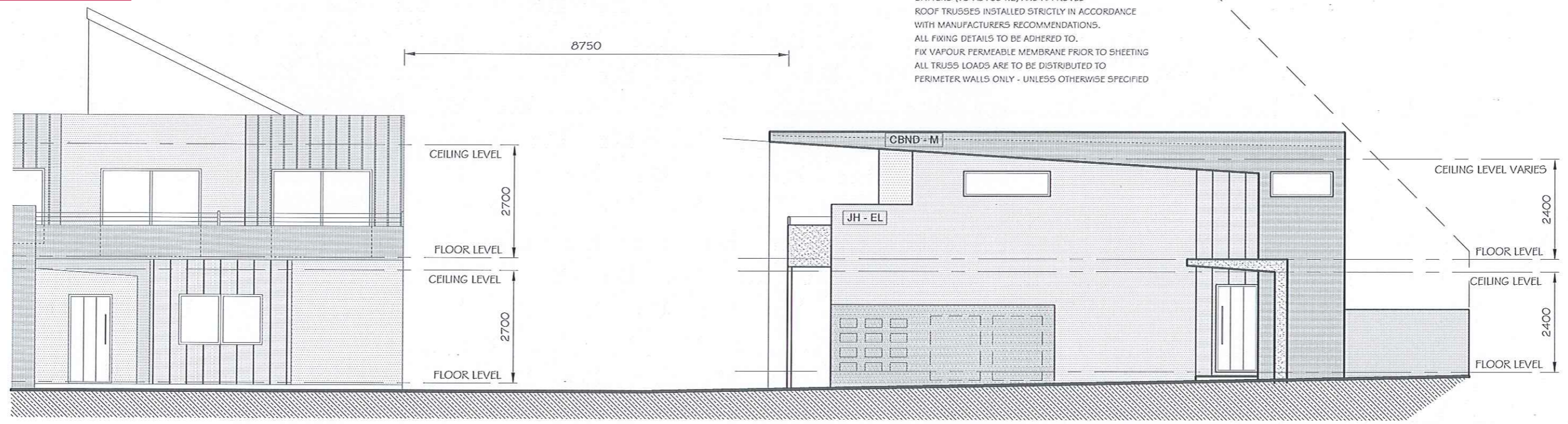
UNIT 5 (STAGE 2)



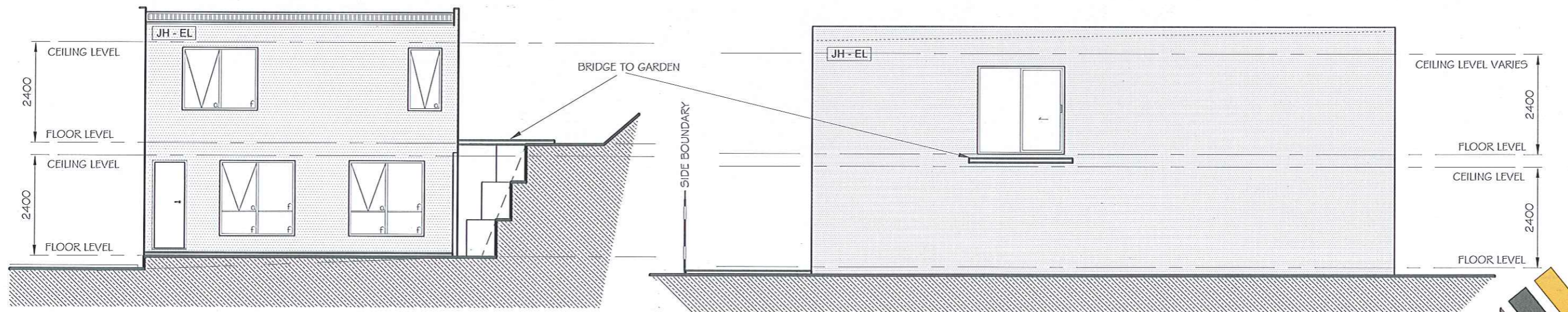
CBND - M
 COLORBOND STEEL MATT SHEET CLADDING
 COLORBOND COLOUR TO SELECTION. INSTALLED STRICTLY TO MANUFACTURERS SPECIFICATIONS

JH - EL
 JAMES HARDIE EASY LAP CLADDING
 INSTALLED STRICTLY TO MANUFACTURERS SPECIFICATIONS

CRF-5d
 TRIMDECK OR SIMILAR APPROVED SHEET ROOFING
 COLORBOND COLOUR TO SELECTION, OVER ROOF BATTENS (TO AS 1684.2) AND APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 ALL FIXING DETAILS TO BE ADHERED TO.
 FIX VAPOUR PERMEABLE MEMBRANE PRIOR TO SHEETING
 ALL TRUSS LOADS ARE TO BE DISTRIBUTED TO PERIMETER WALLS ONLY - UNLESS OTHERWISE SPECIFIED



WEST / STREETFRONT ELEVATION
 SCALE: 1:100



EAST ELEVATION
 SCALE: 1:100

STAGE 2

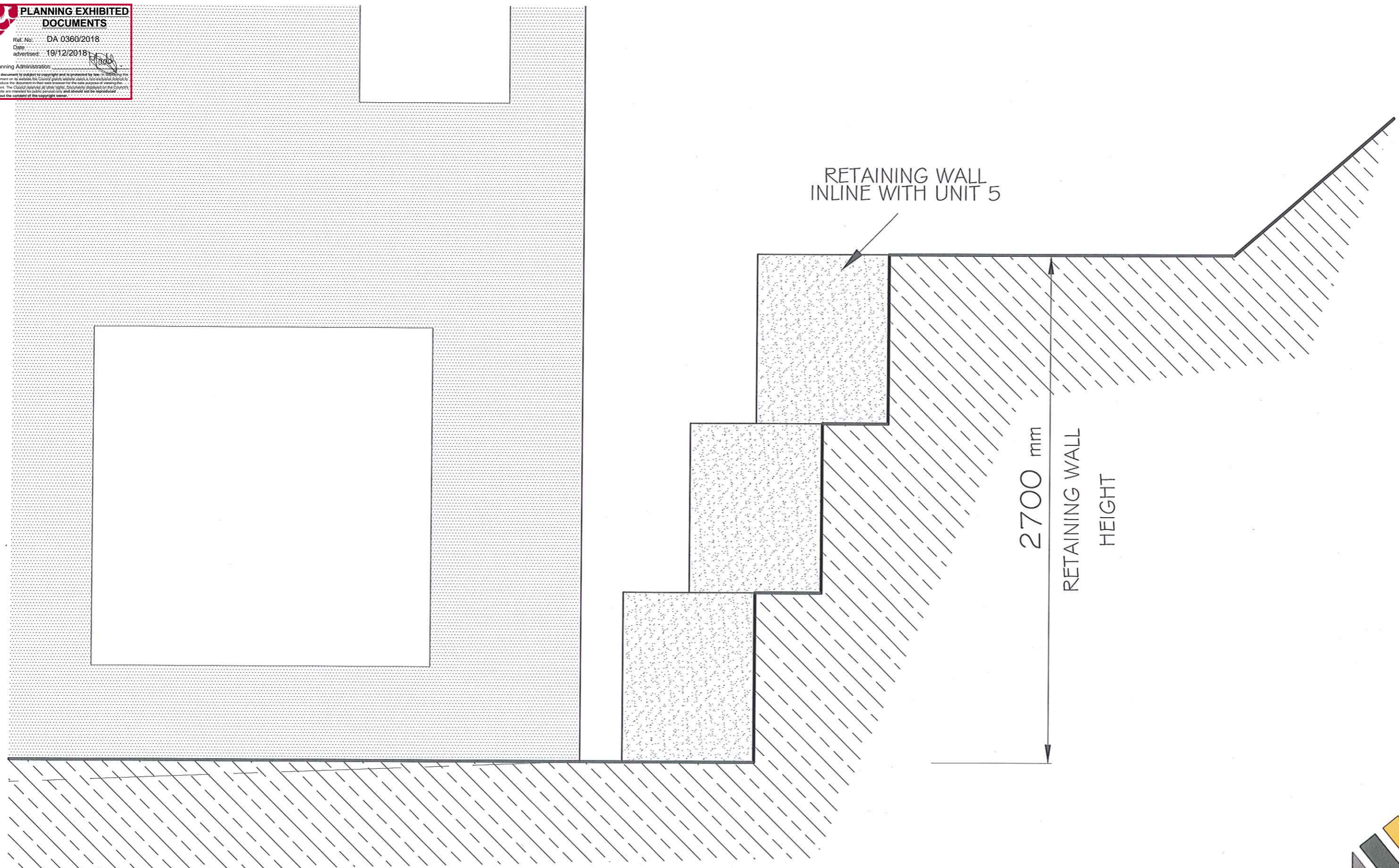
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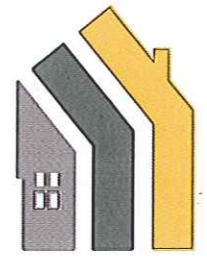
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 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON

dwg no.	6472	version -	03
sheet:	11 of 13	print date	05 DEC 2018
date:	JUNE 2018		
scale	1;100		
bal	tba	drawn:	JVZ

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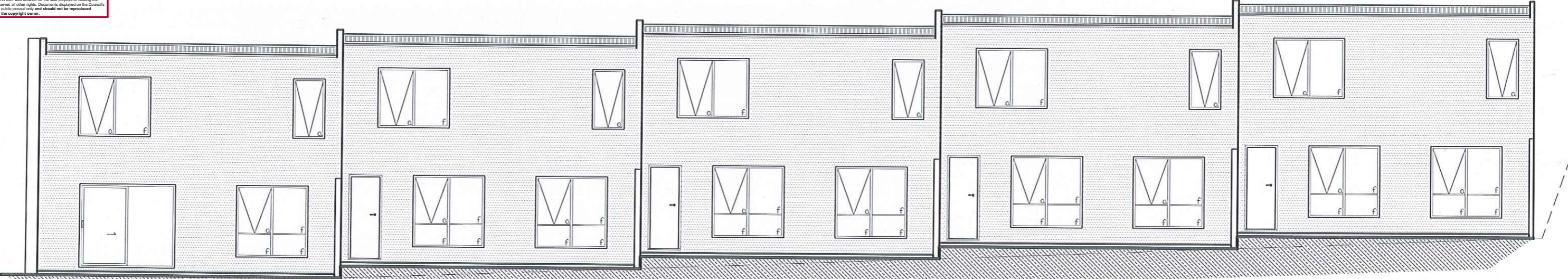


TYPICAL RETAINING WALL SECTION
 SCALE: 1:20

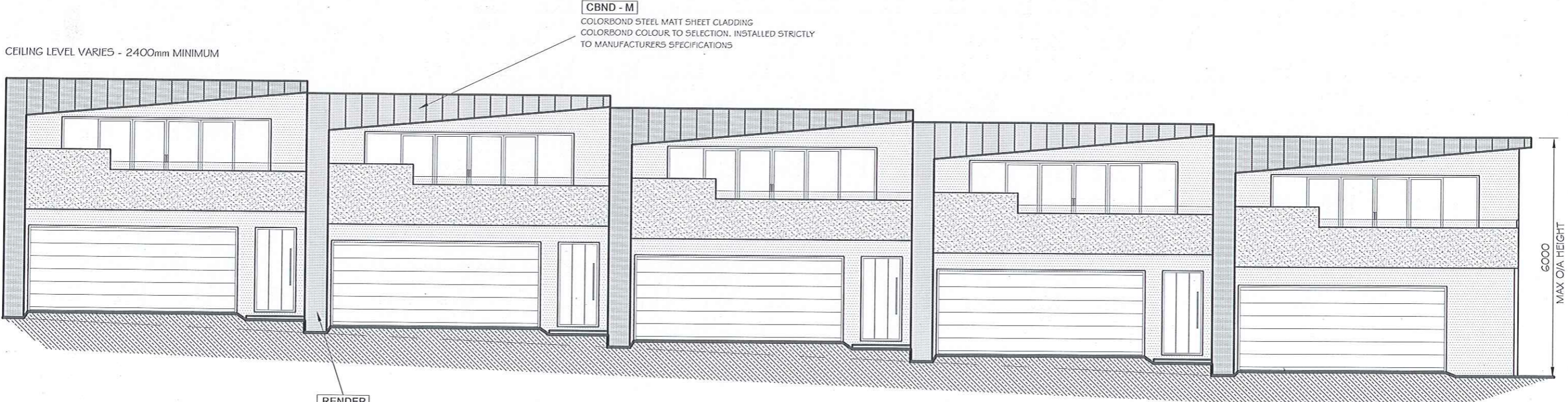


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	1.		sheet: 11a of 13	print date
	2.		date: JUNE 2018	2 DEC 2018
	3.		scale 1:20	
	4.		bal tba	drawn: JVZ



SOUTH ELEVATION
 SCALE: 1:100



NORTH ELEVATION
 SCALE: 1:100

CEILING LEVEL VARIES - 2400mm MINIMUM

CBND - M
 COLORBOND STEEL MATT SHEET CLADDING
 COLORBOND COLOUR TO SELECTION. INSTALLED STRICTLY
 TO MANUFACTURERS SPECIFICATIONS

RENDER

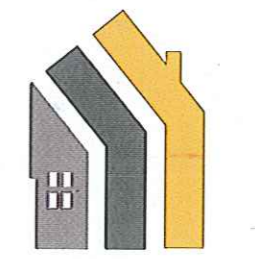
6000
 MAX O/A HEIGHT

CRF-5d
 TRIMDECK OR SIMILAR APPROVED SHEET ROOFING
 COLORBOND COLOUR TO SELECTION, OVER ROOF
 BATTENS (TO AS 1684.2) AND APPROVED
 ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE
 WITH MANUFACTURERS RECOMMENDATIONS.
 ALL FIXING DETAILS TO BE ADHERED TO.
 FIX VAPOUR PERMEABLE MEMBRANE PRIOR TO SHEETING
 ALL TRUSS LOADS ARE TO BE DISTRIBUTED TO
 PERIMETER WALLS ONLY - UNLESS OTHERWISE SPECIFIED

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	1.
	2.
	3.
	4.

PROPOSED UNITS FOR : C. & B. GLEESON
 LOT : 9-10, NO. 27-29
 LESLIE STREET
 SOUTH LAUNCESTON

dwg no.	6472	version -	03
sheet:	12	of	13
date:	JUNE 2018	print date	5 DEC 2018
scale	1:100		
bal	tba	drawn:	JVZ



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 Email admin@urbantas.com.au
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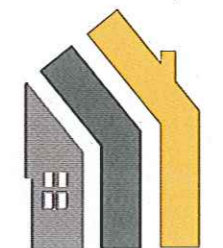


ARTISTS IMPRESSION ONLY

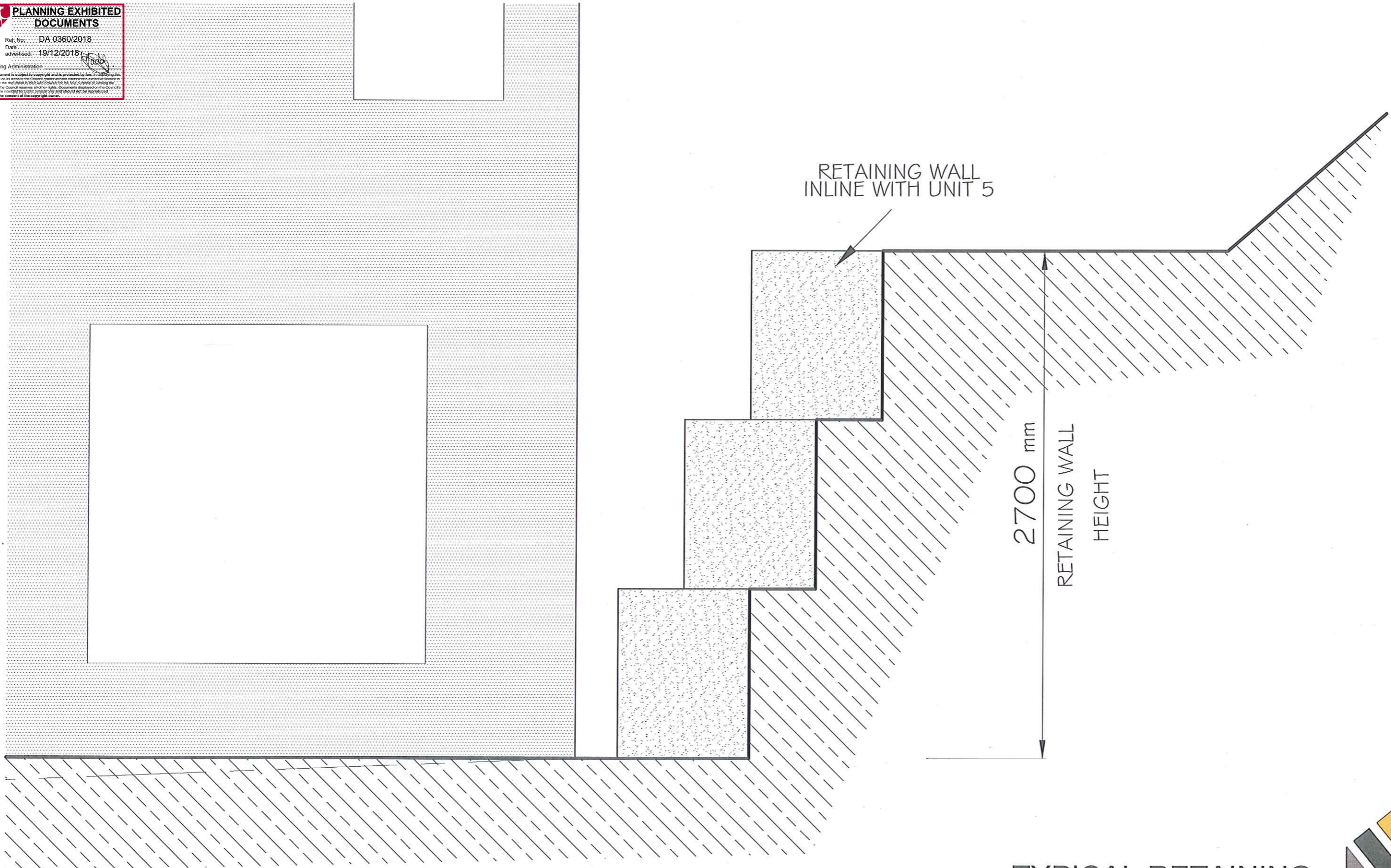
3D - STREETFRONT

SCALE: 1:100

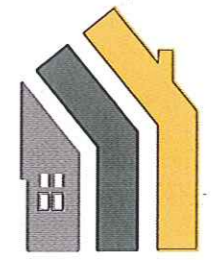
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	1.		sheet: 13 of 13	print date
	2.		date: JUNE 2018	05 DEC 2018
	3.		scale 1:100	
	4.		bal tba	drawn: JVZ



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TYPICAL RETAINING WALL SECTION
 SCALE: 1:20



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	1.		sheet: 11a of 13	print date
	2.		date: JUNE 2018	12 DEC 2018
	3.		scale 1:20	
	4.		bal tba	drawn: JVZ