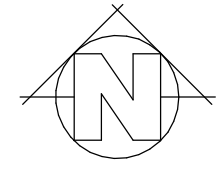


LOCATION OF ALL SERVICES
ON SITE TO BE CONFIRMED BY
SURVEYOR

LEGEND

BOL. BOLLARD TO DETAIL



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

WARNINGS:

THE DETAIL SHOWN / RECORDED

- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
- SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.??m

SITE PLAN

1 : 200



**Hotondo
Homes**

Hotondo Homes John Dykman
68 Pomona Road, Riverside 7250
Ph: 03 6327 2219



10 Goodman Court, Invermay Tasmania 7248,
p+ 03 6332 3790 f+ 03 63323789
info@primedesigntas.com.au primedesigntas.com.au
Accredited building practitioner: Frank Gekus No CC246A

Project:
PROPOSED NEW SHOWROOM
303-305 INVERMAY ROAD & UNIT
3/2 HOPE STREET,
INVERMAY

Client name:
HOTONDO HOMES

Drafted by: Author
Approved by: Approver



Drawing:
SITE PLAN

Date: 15-02-2018
Scale: As indicated

Project/Drawing No: PD18136- 01
Revision: 08

STAGING PLAN

1 : 200



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Drawing:
STAGING PLAN

Drafted by: Author	Approved by: Approver
Date: 15-02-2018	Scale: As indicated

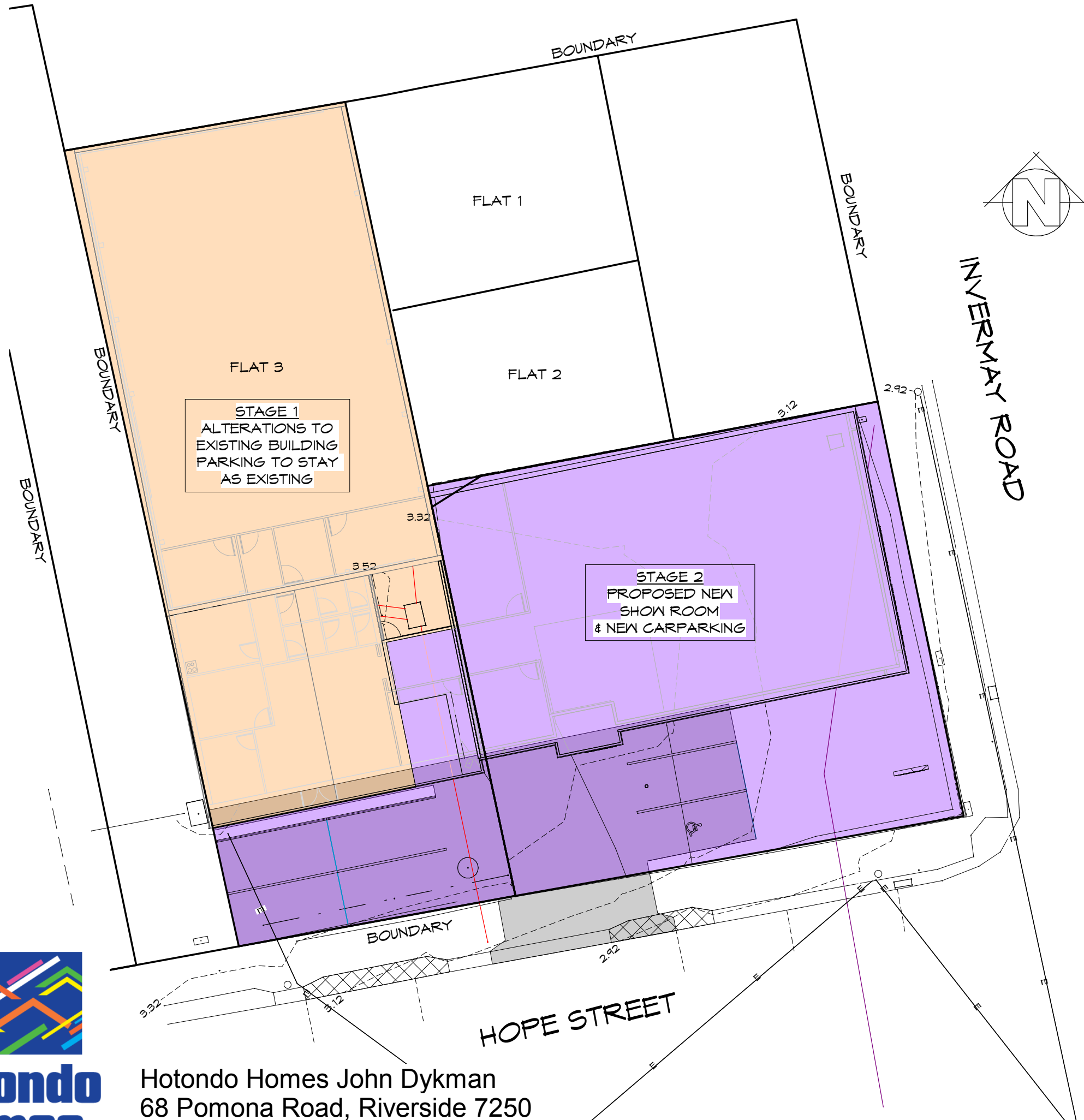
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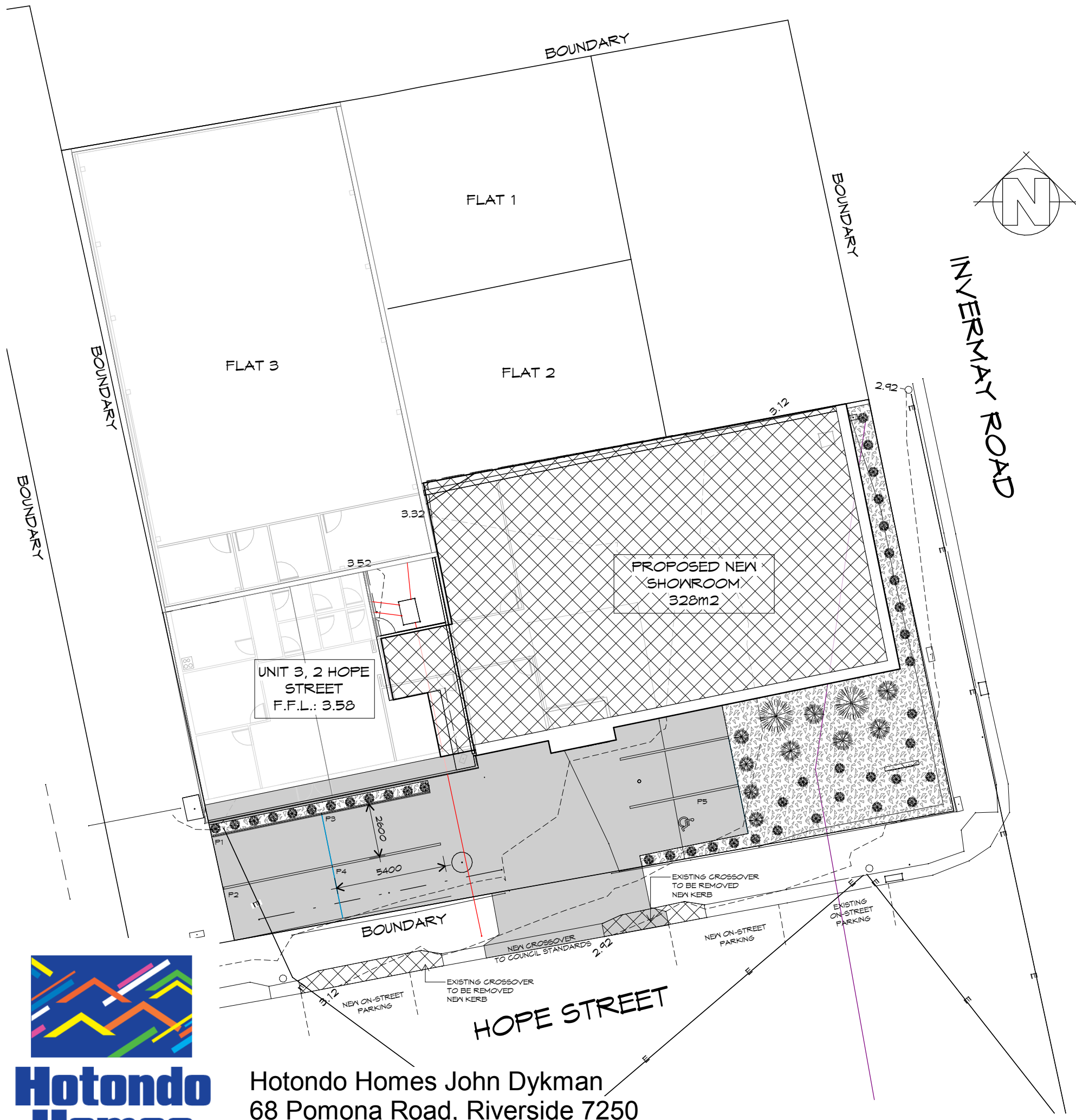
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LEGEND

- SHRUBS 1000-1500
- GREVILLIA SERICEA
 - GREVILLIA SP
- GRASSES
- "FAN FLOWER" SCAEVOLA SP
 - LOMANDRA LONGIFOLIA
- MULCH
- 'BOYER BARK' OR SIMILAR

SITE LANDSCAPING
FRONTAGE LANDSCAPE AREA 96.56m²
/FRONTAGE AREA 217.54m²
= 0.4439
LANDSCAPE AREA OF FRONTAGE
44.39%

SITE LANDSCAPING PLAN

1 : 200



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3/2 HOPE STREET,
INVERMAY
Client name:
HOTONDO HOMES

Drawing:
LANDSCAPING PLAN

Drafted by: Author
Approved by: Approver
Date: 15-02-2018
Scale: As indicated

Project/Drawing no: PD18136- 03
Revision: 08

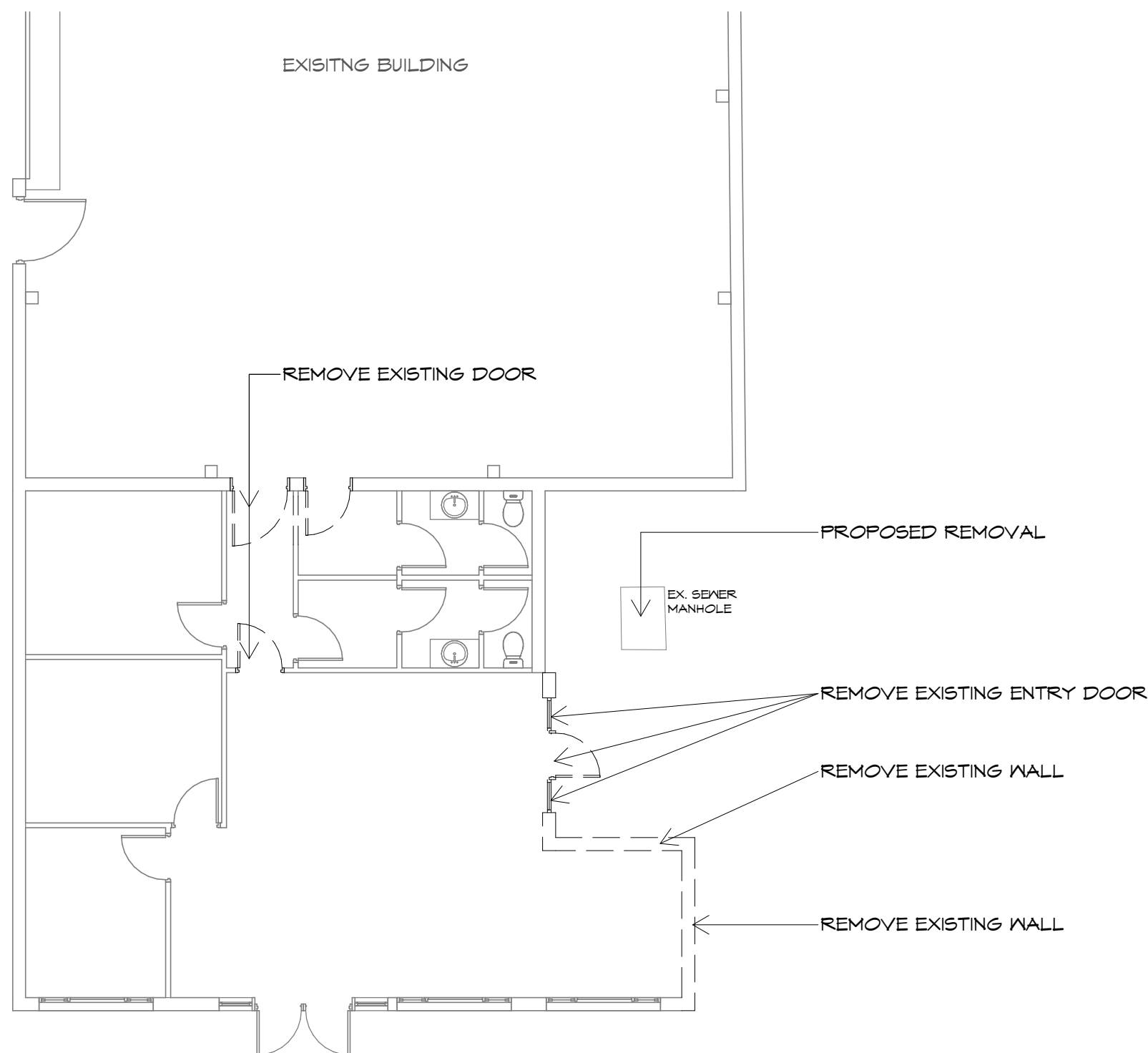
Accredited building practitioner: Frank Geskus -No CC246A



Hotondo Homes John Dykman
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



DEMOLITION PLAN
1 : 100

DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

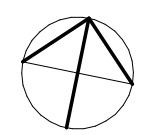


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INVERMAY
Client name:
HOTONDO HOMES

Drawing:
DEMOLITION PLAN

Drafted by: Author	Approved by: Approver
Date: 15-02-2018	Scale: 1 : 100



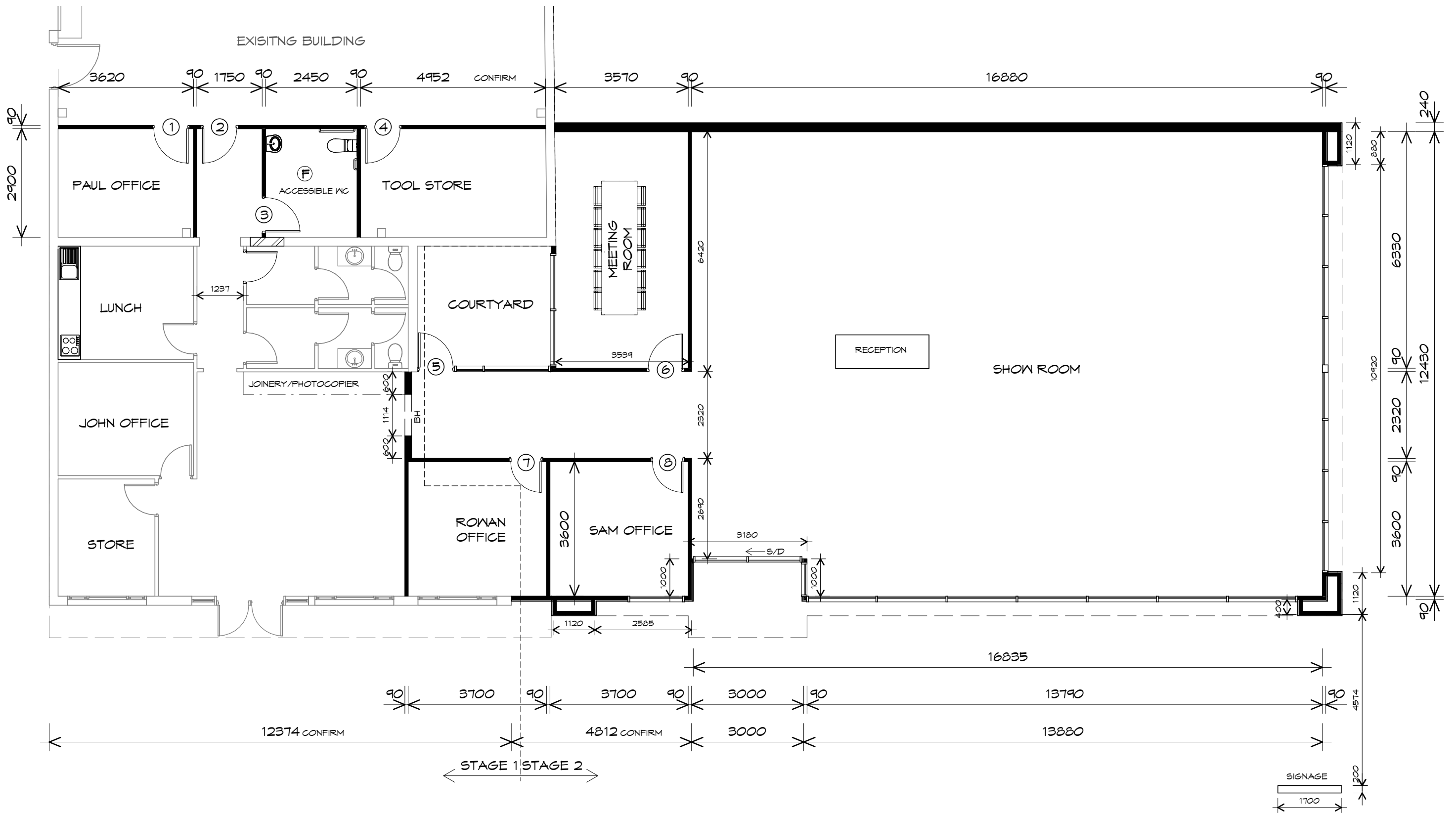
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

GROUND FLOOR PLAN

1 : 100

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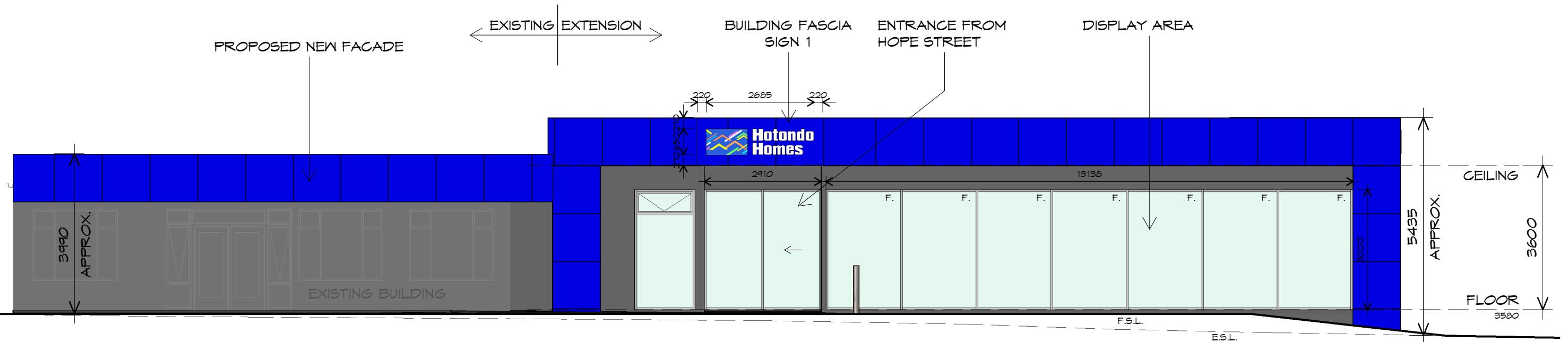
Drawing:
FLOOR PLAN

Date: 15-02-2018
Scale: 1 : 100

Project/Drawing No:
PD18136- 05

Revision:
08

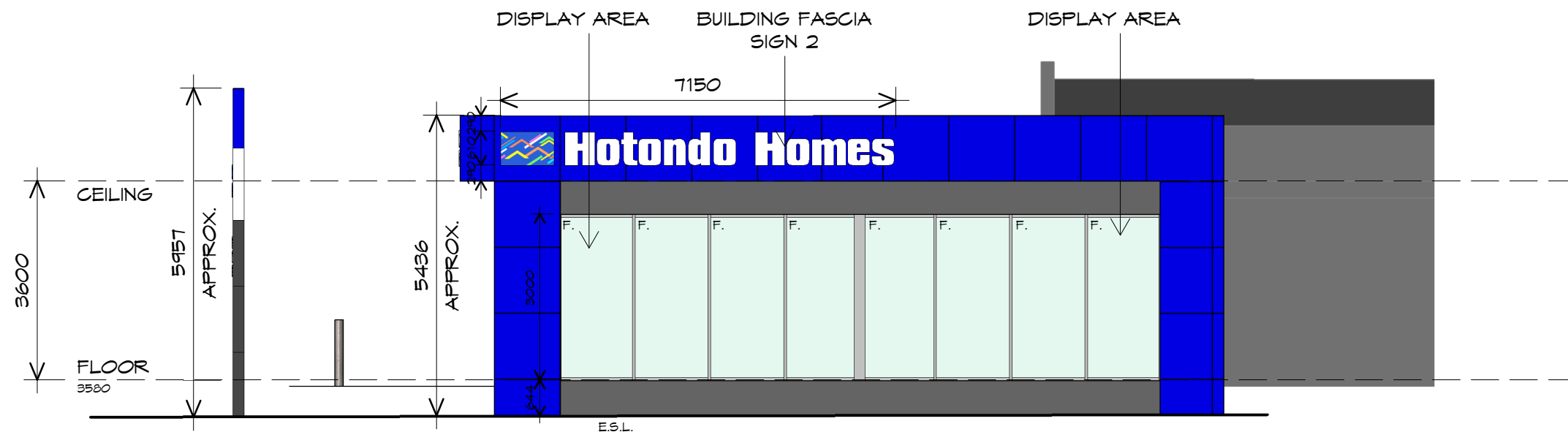




SOUTHERN ELEVATION

1 : 100

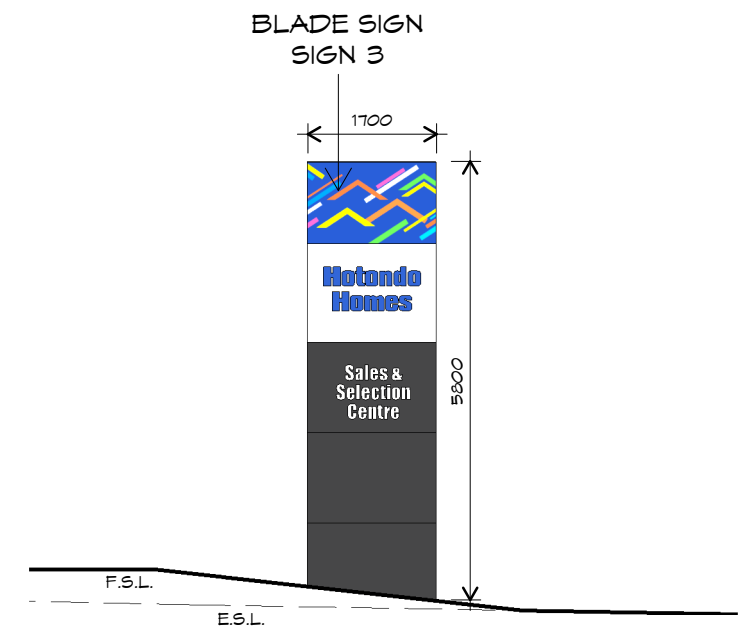
STREETSCAPE
EXTENSION GLAZED AREA 52.91m² / EXTENSION
FACADE AREA 107.68m²
= 0.4914
TOTAL GLAZED AREA 49.14%



EASTERN ELEVATION

1 : 100

STREETSCAPE
EXTENSION GLAZED AREA 28.77m² / EXTENSION
FACADE AREA 70.21m²
= 0.4098
TOTAL GLAZED AREA 40.98%



SIGN ELEVATION

1 : 100



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Drafted by: Author
Approved By: Approver



Drawing:
ELEVATIONS

Date: 15-02-2018
Scale: 1 : 100

Project/Drawing No: PD18136- 06
Revision: 08

21 December 2018

Launceston City Council
Town Hall, 18-28 St John Street
Launceston TAS 7250

Dear Planner,

Re: Proposed Extension & Alterations at 303-305 Invermay Road & Unit 3, 2 Hope Street, Mowbray

Response to Invermay/Inveresk Flood Inundation Area Code.

E16.0 Inveresk Flood Inundation Area Code

E16.7.2 Flood Impact

- A3 (a) floor level 3.58m AHD – *Complies*
 (b) total floor area 689.56m² – *does not comply*

P3

The proposed new extension & alterations at 303-305 Invermay Road & Unit 3, 2 Hope Street, Mowbray will have a finished floor level of 3.58m AHD. Which is above the required 3.4m AHD to satisfy the acceptable solution of the Launceston Interim Planning Scheme. Based on this we can concur that should the flood levees be breached or if overtopping does occur the 3.4 AHD water level will impact upon the building at 35 Montague Street but will not encroach into the building.

With a water level, potentially 0.18m below the finished floor level of the building & potentially isolated during an event it would be considered important that the staff of 303-305 Invermay Road & Unit 3, 2 Hope Street have an Emergency Evacuation Plan and are familiar with how to move safely to higher ground. The impacts of water damage from the flood on the building will be minor.

The information above is based on a 1:100 (1%) AEP flood event with a 3430 cumecs flood discharge. Information has been derived from the Launceston City Council GIS and Flood Inundation maps. In the event of a 5%, 2% breach or overtopping of the levee the same emergency evacuation procedure should be implemented however the likely impact upon the building and the urgency of evacuation will be considerably less.

Emergency Evacuation plan (for staff)

The safety of staff in the event of a levee breach will be managed through an Emergency Evacuation Plan based on the procedure below:



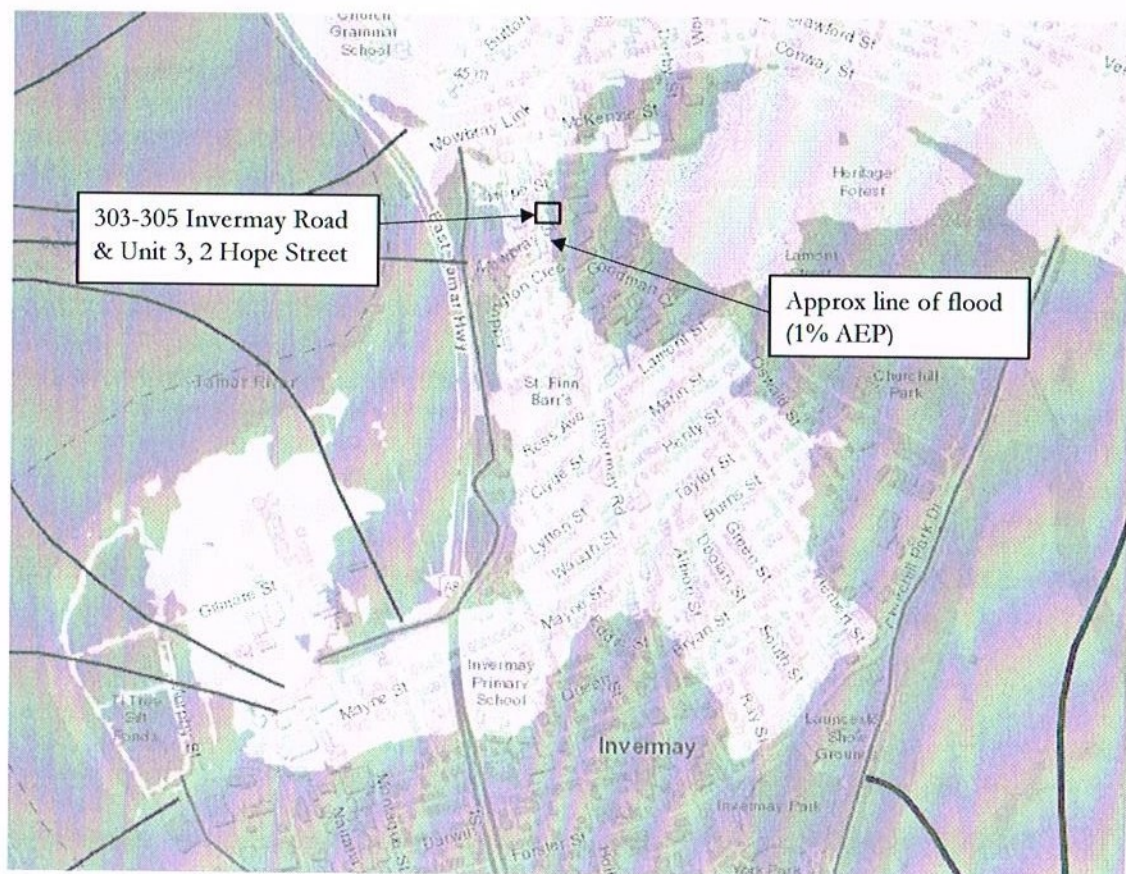
In the event of possible flooding:

- Staff to stay up to date with wall information regarding potential floods via TasALERT, local ABC radio, the SES and Tasmanian Police Website and the Bureau of Meteorology's website.
- If an instruction is given by the Launceston City Council, SES or Tasmanian police to evacuate all staff are to obey without hesitation.
- There must be a staff member present to take a head count and ensure all staff have evacuated.
- Staff are to move to the previously agreed upon 'safe area' or Evacuation Centre which must be well above 3.4 AHD. Exercise caution and be prepared for road closures due to flood.
- Staff must not return to the site until instructed that it is safe to do so.
- This response plan will be made available with the OH&S folders on site

The above is to be read in conjunction with the Flood Evacuation floor plan.

Managing risk to the building:

The likely velocity of the flood waters once they reach 303-305 Invermay Road & Unit 3, 2 Hope Street will be minimal as the proposed new building will be positioned on the outer edge of the predicted flood area. The flood waters will be overflow at this point rather than strong spillage.



Map source:

<http://launceston.maps.arcgis.com/apps/webappviewer/index.html?id=19c346f2067b4b6c884631b6d8dd5075>



The most dramatic effects on the building will likely be from external water damage. The following features will be implemented into the building to reduce the effects of water damage and flooding:

- Install electrical equipment and any important storage items above 3.4 AHD

Building Structure to withstand flood inundation and debris damage:

The proposed building is steel & concrete framed with timber infill, clad with light weight cladding and placed on top of a concrete slab.

The building is on the outer edge of the flood area and due to this it is expected that the flow of the water in this area will be minimal; rather it is expected that the main form of flood damage would be external water sitting below floor level. Any slow-moving currents will not pose a risk to the buildings primary structure. Debris damage is only expected if there is a reasonable current; as the current is expected to be minimal, the risk of this is assumed low.

No structural damage is expected to the footings from water inundation.

Kind regards

Slawek Misiun
Civil/Structural Engineer
MIEA Aust 927148
Accredited Building Practitioner
No CC4102M

SLAWOMIR (SLAWEK) MISIUN
CIVIL / STRUCTURAL ENGINEER
MIE Aust 927148
ACCREDITED BUILDING PRACTITIONER
No. CC4102M

[http://www.launceston.tas.gov.au/upfiles/lcc/cont/environment/earth wind water fire/launceston flood protection/12 hours inundation after breach.pdf](http://www.launceston.tas.gov.au/upfiles/lcc/cont/environment/earth%20wind%20water%20fire/launceston%20flood%20protection/12%20hours%20inundation%20after%20breach.pdf)

<http://launceston.maps.arcgis.com/apps/webappviewer/index.html?id=19c346f2067b4b6c884631b6d8dd5075>