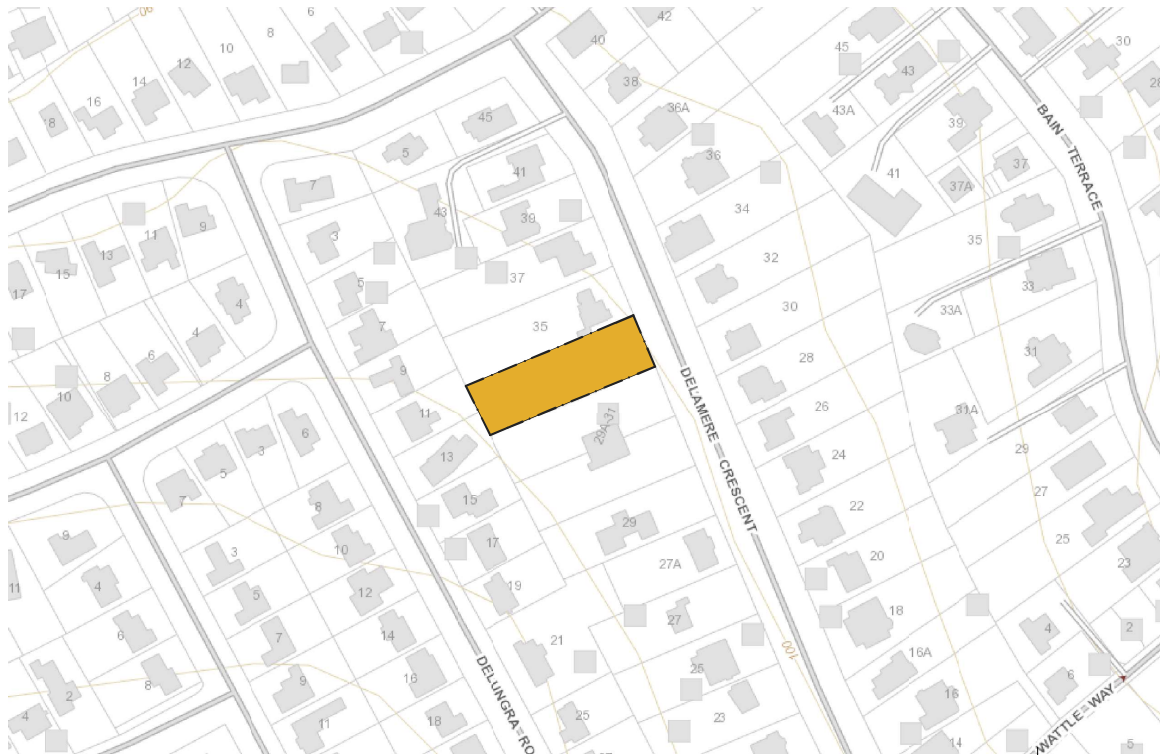


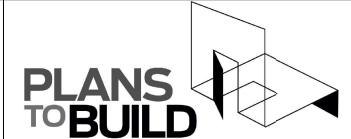
PROPOSED NEW RESIDENCE for at 33 DELAMERE CRESCENT, TREVALLYN TAS 7250 MEL HUDSON



LOCATION PLAN

DRAWING SCHEDULE

A00	COVER PAGE
A01	OVERALL SITE PLAN
A02	PART SITE PLAN
A03	LOWER FLOOR PLAN
A04	FIRST FLOOR PLAN
A05	ROOF PLAN
A06	ELEVATIONS
A07	ELEVATIONS
A08	SECTION



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L.M.DELL LIC. No. CC5932 G

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD COMPLIANCES.



PROJECT INFORMATION:

FLOOR AREAS: NEW RESIDENCE FLOOR AREA - 285.5m ² DECK AREA - 29m ²		SITE AREA: 740m ²		LAND TITLE, VOLUME & FOLIO CT-70144/1	
SITE OVERLAYS: N/A	SITE CLASSIFICATION : REFER TO ENGINEERS DRAWINGS	CLIMATE ZONE: 7	ALPINE AREA: N/A	BUSHFIRE ATTACK LEVEL: EXEMPT	
COUNCIL: LAUNCESTON CITY	WIND REGION: A3	DESIGN WIND SPEED N1	TERRAIN CLASSIFICATION: T3		
SCHEME / ZONE: 10.0 GENERAL RESIDENTIAL	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 29/09/2020	PROJECT NUMBER: 20081		

1	ISSUED FOR PLANNING APPROVAL	29.09.20
rev.	Amendment	Date
DRAWING No: A00		ISSUE: SCHEMATIC
1 of 9		REV: 1

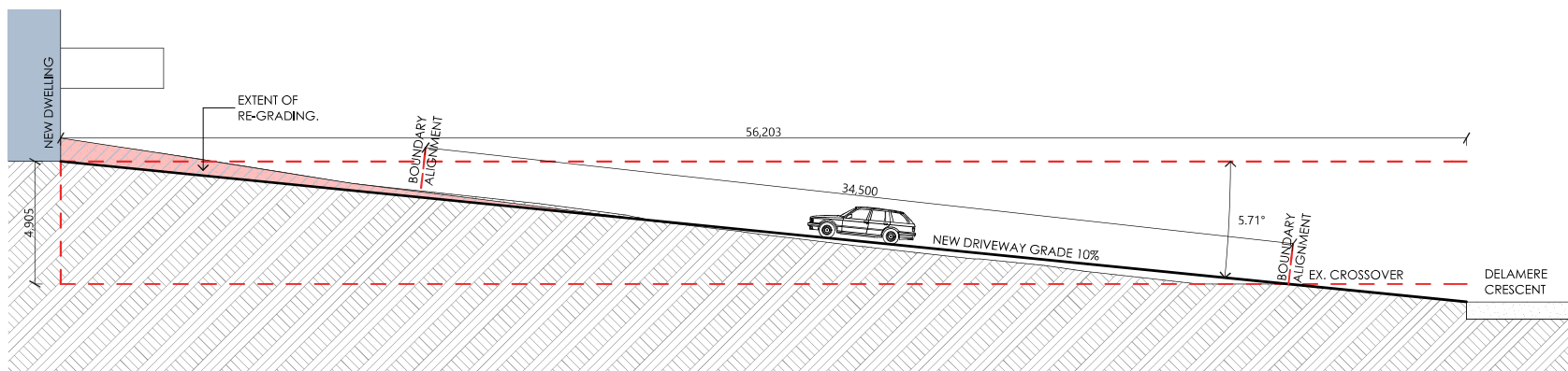
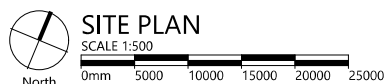
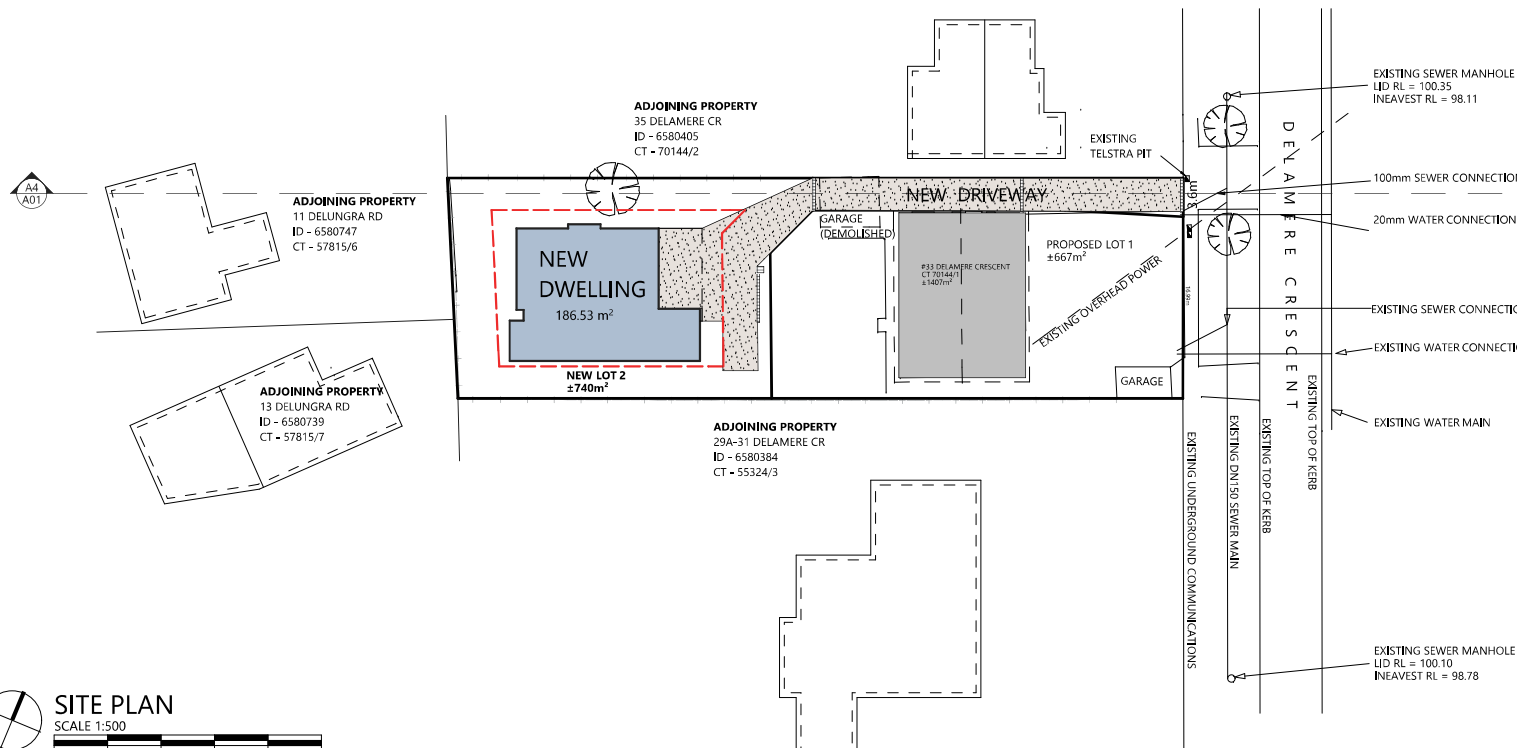
SITE PLAN NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS
IN ACCORDANCE WITH PART D2, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

SOIL AND WATER MANAGEMENT
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.



SITE SECTION - DRIVEWAY

PROPOSED NEW RESIDENCE

33 DELAMERE CRESCENT, TREVALLYN TAS 7250

PROJECT NUMBER:
20081

SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
29/09/2020

DRAWING No:
A01

ISSUE: SCHEMATIC
REV: 1

Owner:
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rev.	Amendment	Date
1	ISSUED FOR PLANNING APPROVAL	29.09.20

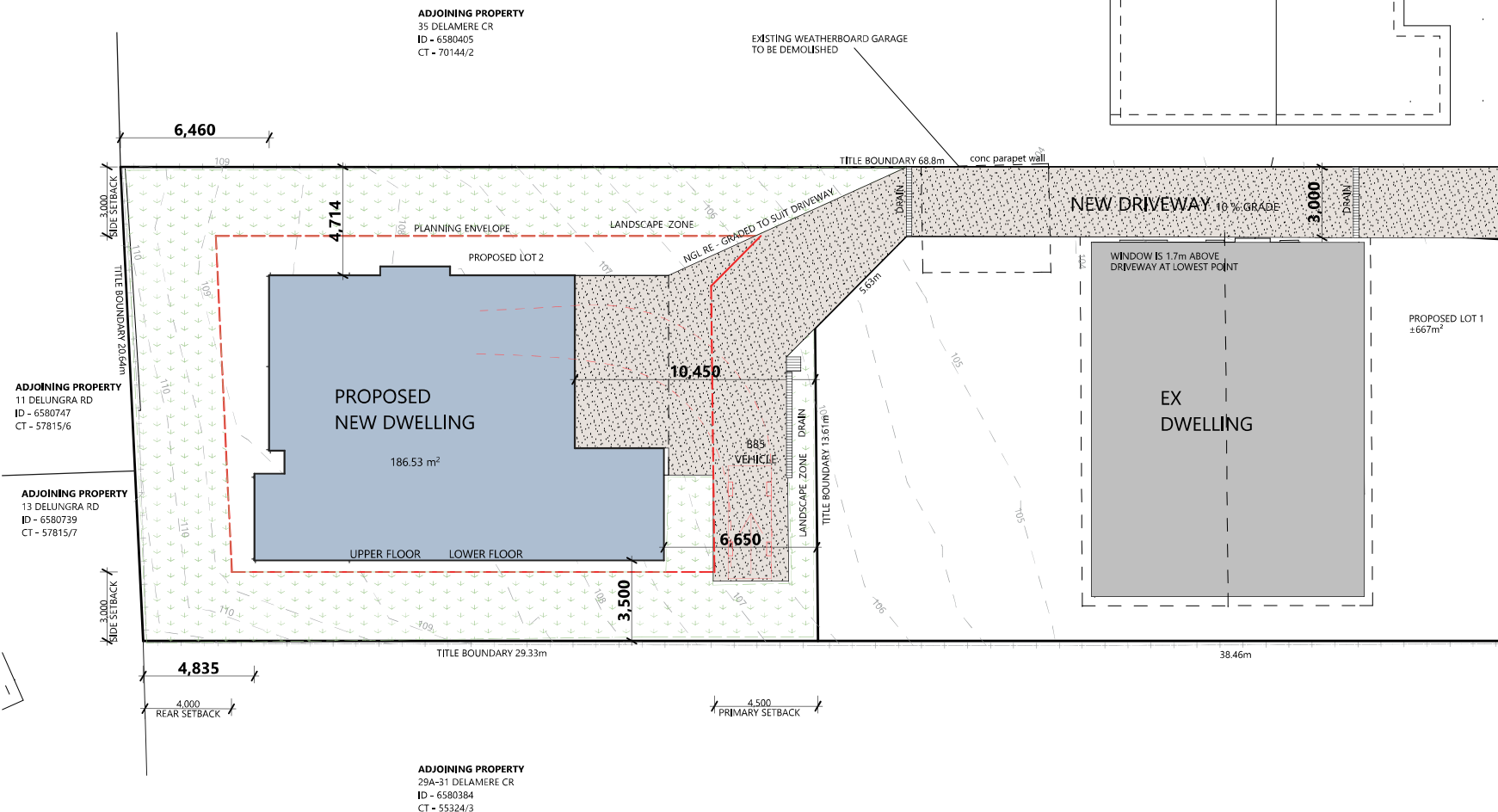
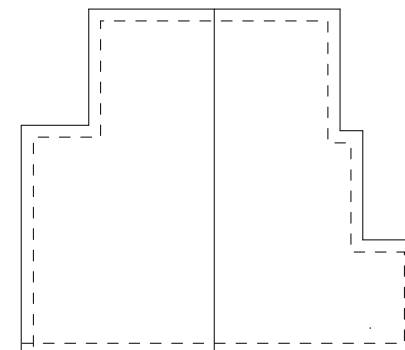
SITE PLAN NOTES

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PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0635/2020
 Date advertised: 07/11/2020
 Planning Administration: *[Signature]*
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PLANS TO BUILD
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L.M.DELL LIC. No. CC5932 G

Owner:
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rev.	Amendment	Date



PROPOSED NEW RESIDENCE

33 DELAMERE CRESCENT, TREVALLYN TAS 7250

PROJECT NUMBER: 20081	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 29/09/2020	DRAWING No: A02	ISSUE: SCHEMATIC REV: 1
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FLOOR PLAN LEGEND

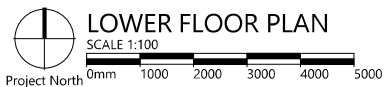
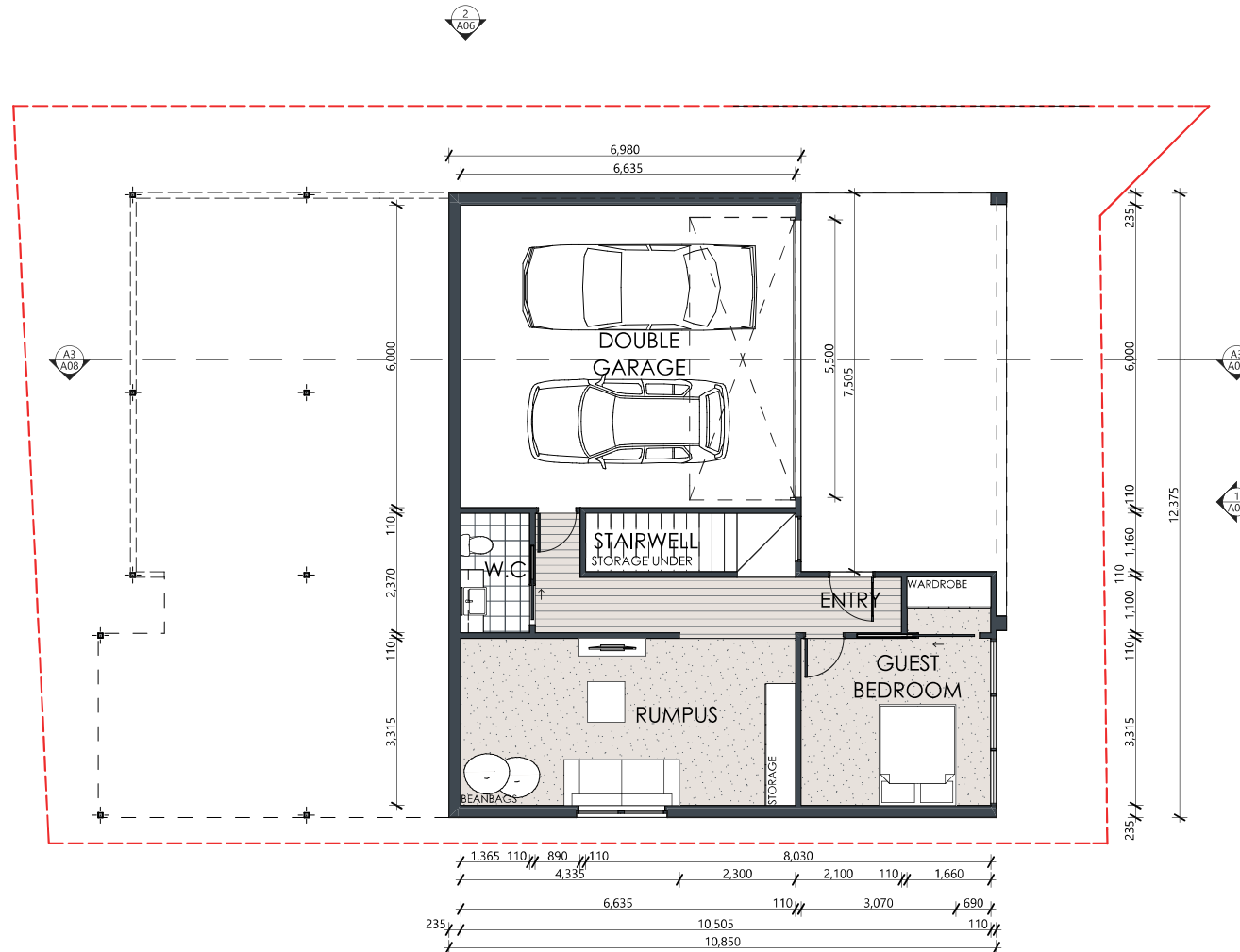
INSULATED 90x35mm MGP.10 OR .12
TIMBER STUD FRAMED WALLS, Pb LINING
INTERNALLY. PAINT FINISH.
PROVIDE VAPOUR PERMEABLE BUILDING
WRAP, LAP AND TAPE ALL JOINTS.
REFER TO ELEVATIONS FOR EXTERNAL
CLADDING SELECTION.
REFER TO INSULATION SCHEDULE FOR
THERMAL REQUIREMENTS (R-VALUES)

INTERNAL 90x35mm MGP.10 OR .12 TIMBER
STUD WALL Pb LINING , PAINT FINISH

PAINT GRADE HOLLOW CORE INTERIOR
SWING DOOR WITH ARCHITRAVES,
JAMBS AND STOPS. PAINT FINISH

PAINT GRADE HOLLOW CORE (SOLID
IN WETAREAS) INTERIOR CAVITY
SLIDING DOOR WITH ARCHITRAVES
AND JAMBS. PAINT FINISH

POWDERCOATED ALUMINIUM
FRAMED GLAZED WINDOWS.



PROPOSED NEW RESIDENCE

33 DELAMERE CRESCENT, TREVALLYN TAS 7250

PROJECT NUMBER:
20081

SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
29/09/2020

DRAWING No:
A03

ISSUE: SCHEMATIC
4 of 9 REV: 1

Owner:
MEL HUDSON

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PLANS TO BUILD

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L.M.DELL I.C. No. CC5932 G

FLOOR PLAN LEGEND

INSULATED 90x35mm MGP.10 OR .12
TIMBER STUD FRAMED WALLS, Pb LINING
INTERNALLY. PAINT FINISH.
PROVIDE VAPOUR PERMEABLE BUILDING
WRAP, LAP AND TAPE ALL JOINTS.
REFER TO ELEVATIONS FOR EXTERNAL
CLADDING SELECTION.
REFER TO INSULATION SCHEDULE FOR
THERMAL REQUIREMENTS (R-VALUES)

INTERNAL 90x35mm MGP.10 OR .12 TIMBER
STUD WALL Pb LINING , PAINT FINISH

PAINT GRADE HOLLOW CORE INTERIOR
SWING DOOR WITH ARCHITRAVES,
JAMBS AND STOPS. PAINT FINISH

PAINT GRADE HOLLOW CORE (SOLID
IN WETAREAS) INTERIOR CAVITY
SLIDING DOOR WITH ARCHITRAVES
AND JAMBS. PAINT FINISH

POWDERCOATED ALUMINIUM
FRAMED GLAZED WINDOWS.



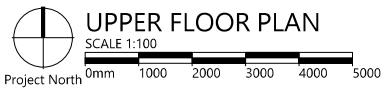
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DRAWING No: **A04** ISSUE: SCHEMATIC
5 of 9 REV: 1



PROPOSED NEW RESIDENCE

33 DELAMERE CRESCENT, TREVALLYN TAS 7250

PROJECT NUMBER: 20081	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 29/09/2020
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ROOF PLAN NOTES

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. ALL DWV PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH.

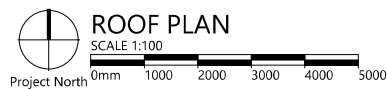
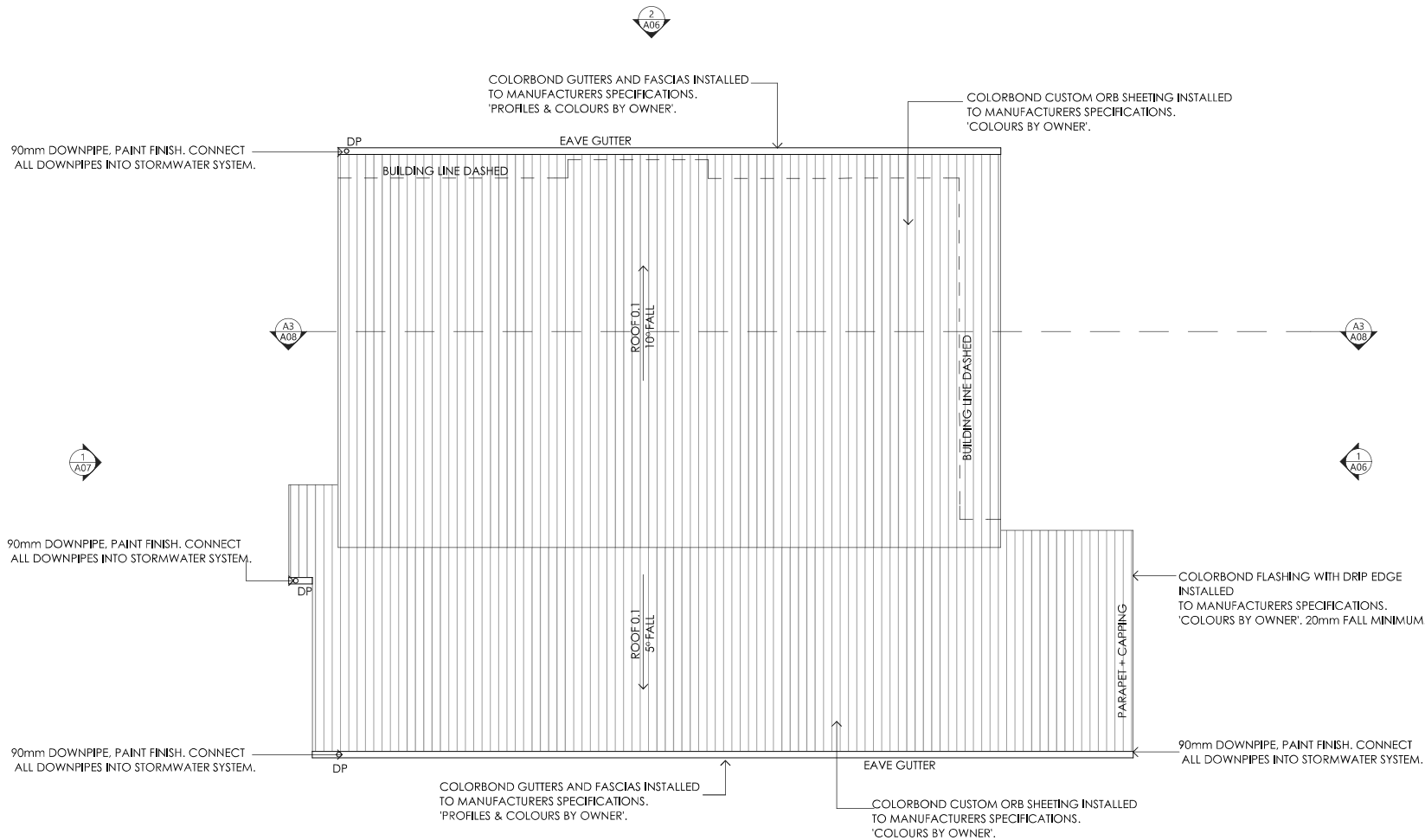
AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPINGS, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.

REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.

ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1684.4 SECTION 9 TABLES 9.2 TO 9.7.

REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.



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DRAWING No: **A05** ISSUE: SCHEMATIC
 6 of 9 REV: 1

PROPOSED NEW RESIDENCE

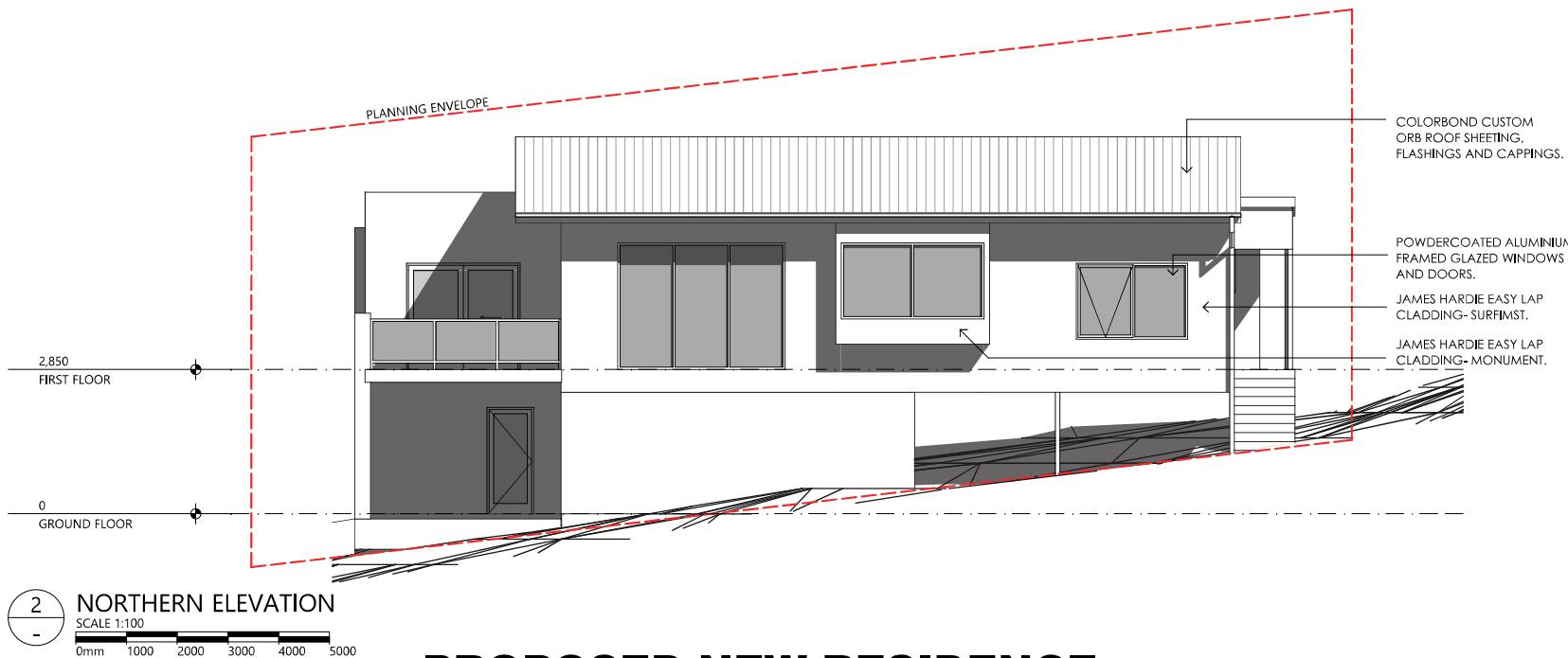
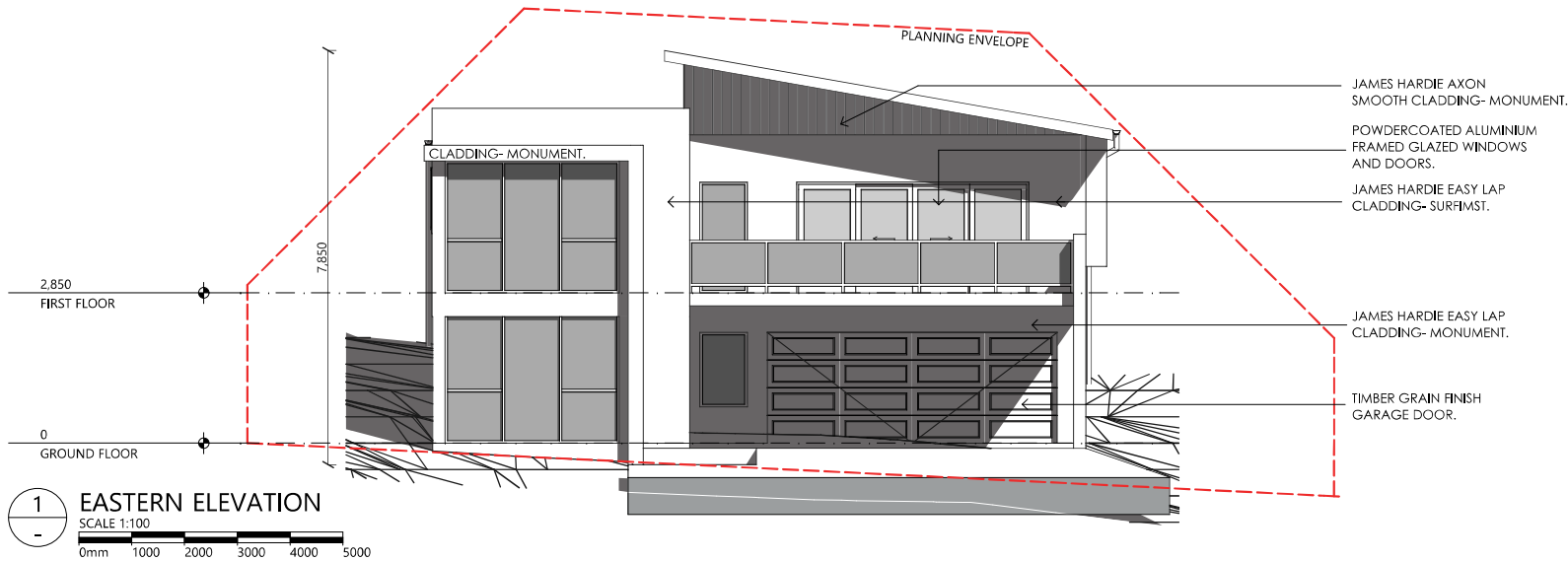
33 DELAMERE CRESCENT, TREVALLYN TAS 7250

PROJECT NUMBER: 20081	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 29/09/2020
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ELEVATION NOTES

WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS, SEALS, FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.



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rev.	Amendment	Date
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7 of 9 REV: 1

PROPOSED NEW RESIDENCE

33 DELAMERE CRESCENT, TREVALLYN TAS 7250

PROJECT NUMBER:
20081

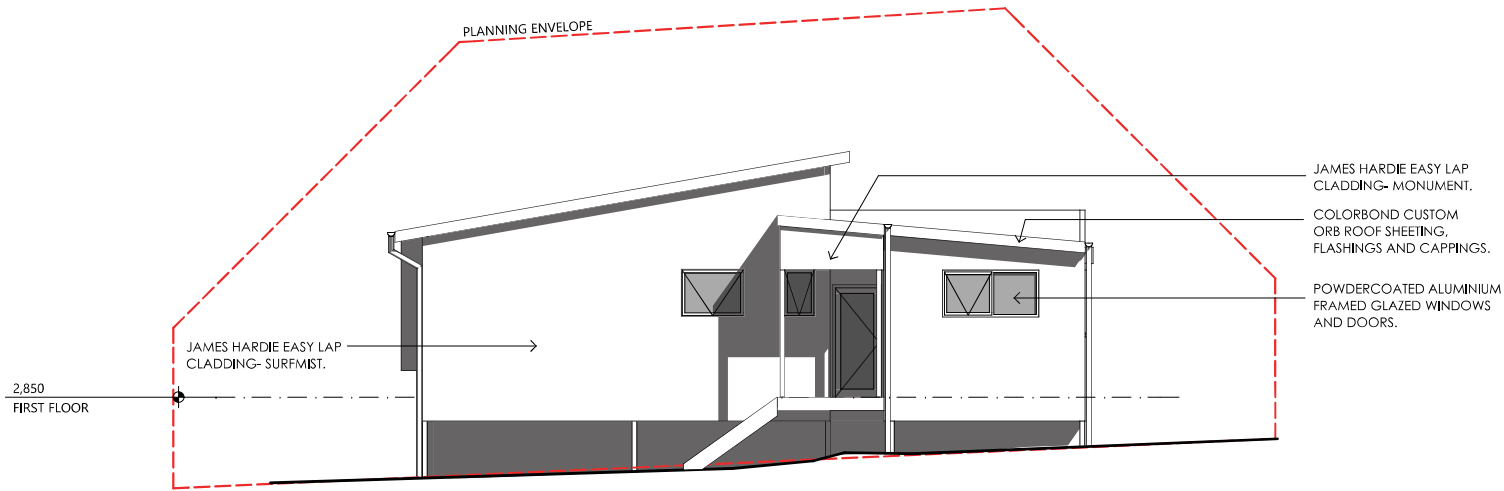
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PRINT DATE:
29/09/2020

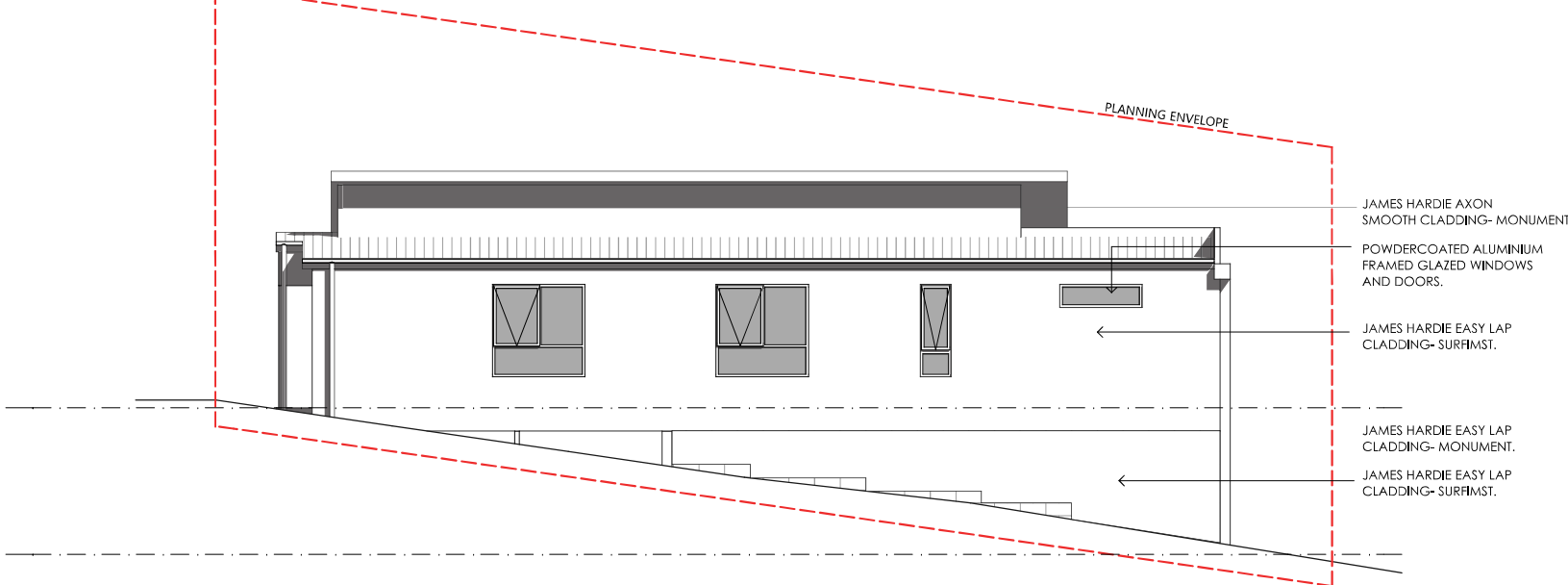
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INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS, SEALS, FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.




0
GROUND FLOOR
1
WESTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2
SOUTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000





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DRAWING No: A07		ISSUE: SCHEMATIC
8 of 9		REV: 1

PROPOSED NEW RESIDENCE

33 DELAMERE CRESCENT, TREVALLYN TAS 7250

PROJECT NUMBER:
20081

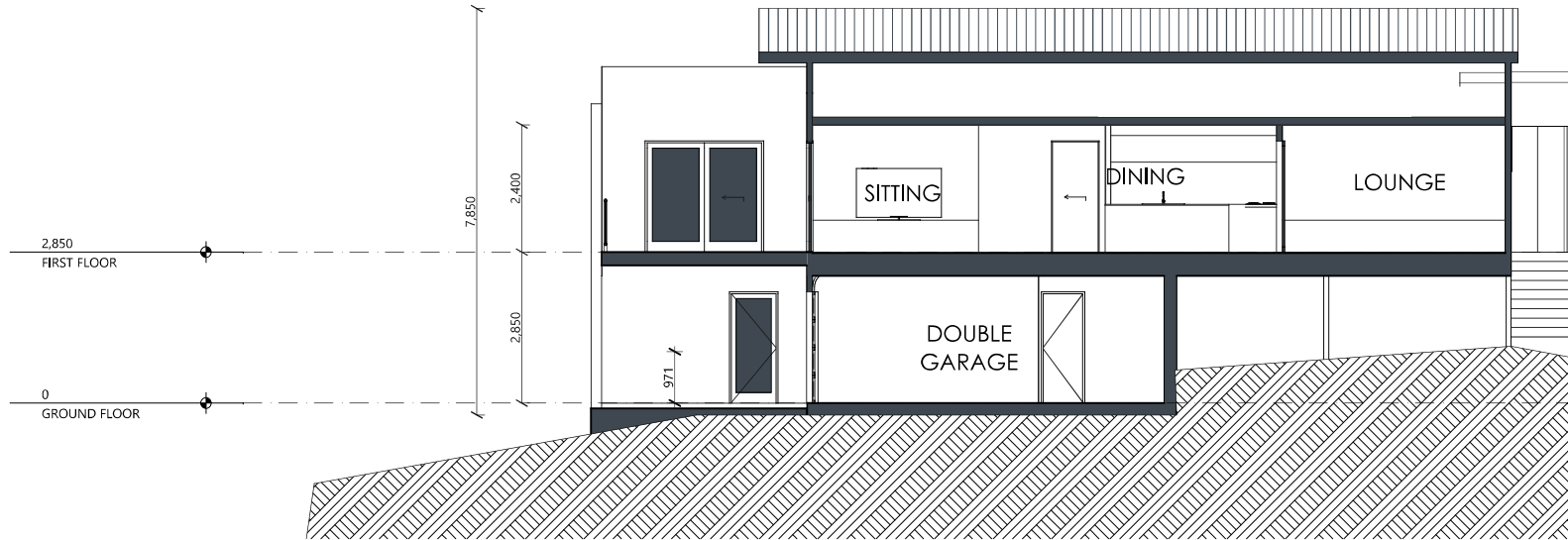
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PRINT DATE:
29/09/2020

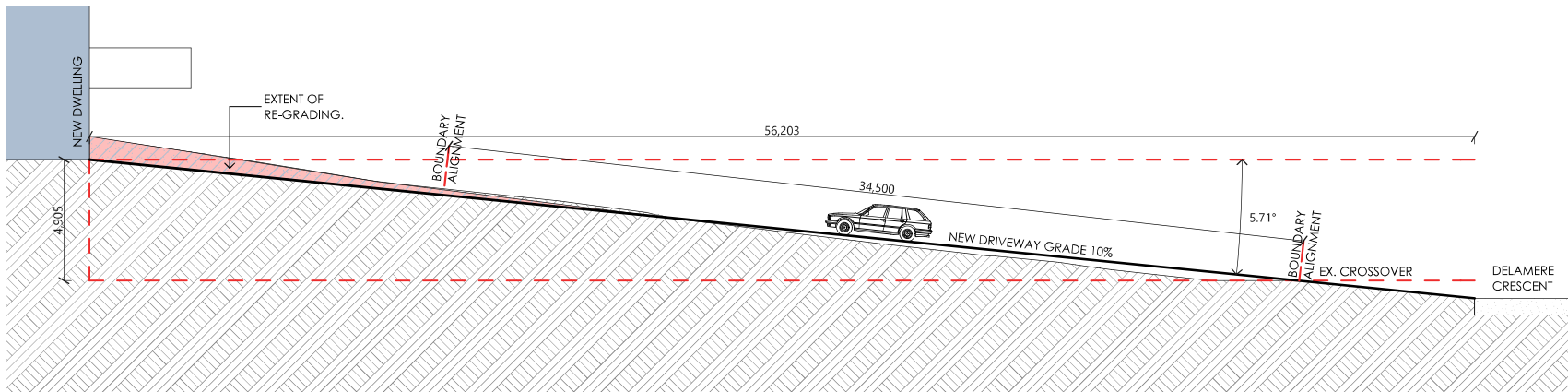
A07

8 of 9

ISSUE: SCHEMATIC
REV: 1



1 SECTION AA
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 SITE SECTION - DRIVEWAY
SCALE 1:200
0mm 2000 4000 6000 8000 10000



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PROPOSED NEW RESIDENCE

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PROJECT NUMBER: 20081	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 29/09/2020	DRAWING No: A08	ISSUE: SCHEMATIC REV: 1
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