



# PROPOSED ADDITIONS/ALTERATIONS 30 LANOMA STREET, EAST LAUNCESTON

## P&S SYMONS

### PD19316

#### BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	LANDSCAPING PLAN
03	LOCALITY PLAN
04	GROUND FLOOR PLAN
05	SHED FLOOR PLAN
06	ELEVATIONS
07	ELEVATIONS
08	SHADOW DIAGRAMS
09	SHADOW DIAGRAMS
10	PERSPECTIVES
11	BUILDING ENVELOPE

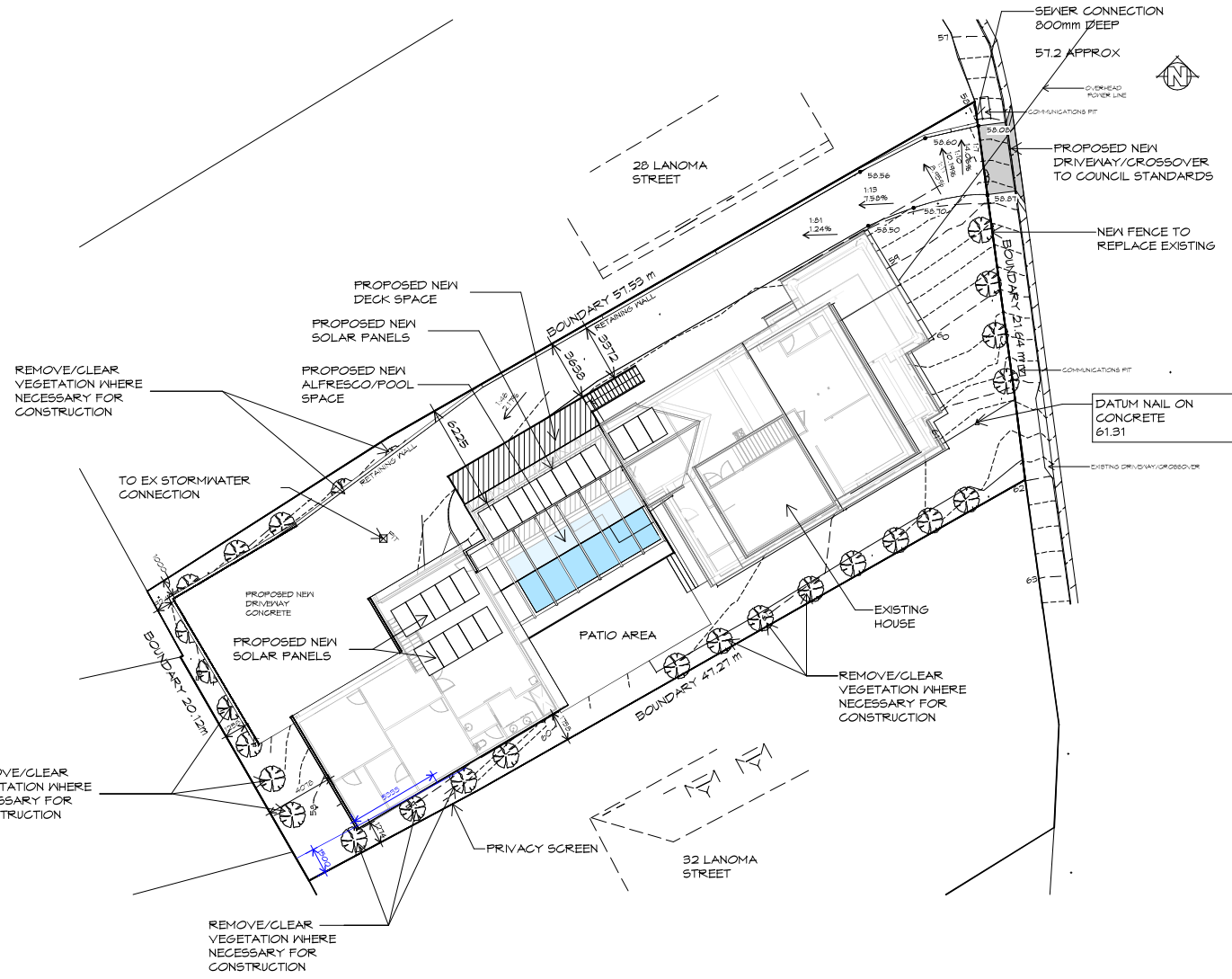
PROPOSED EXTENSION (NOT INCLUDING POOL)	153.04	m2	(	16.46	SQUARES )
GARAGE/WORKSHOP AREA	123.04	m2	(	13.23	SQUARES )
FIRST FLOOR EXISTING AREA	40.21	m2	(	10.51	SQUARES )
EXISTING HOUSE GROUND FLOOR AREA	104.00	m2	(	20.33	SQUARES )
	563.50			60.54	

PLANNING



10 Goodman Court, Invermay Launceston 7248  
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160 New Town Road, New Town, Hobart 7008  
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info@primedesigntas.com.au primedesigntas.com.au  
Accredited Building Practitioner: Frank Geskus -No CC246A

OCTOBER 2020



- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
  - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
  - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2019, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
  - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
  - CONFIRM ALL FLOOR AREAS
  - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
  - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
  - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
  - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
  - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
  - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
  - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
  - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

**SITE DETAIL**

- HORIZONTAL DATUM IS ARBITRARY  
 VERTICAL DATUM IS ARBITRARY
- WARNINGS:**  
 THE DETAIL SHOWN / RECORDED
- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
  - IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
  - SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.
- THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.
- PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.
- CONTOUR INTERVAL 0.2m

**SITE PLAN**  
1 : 200

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

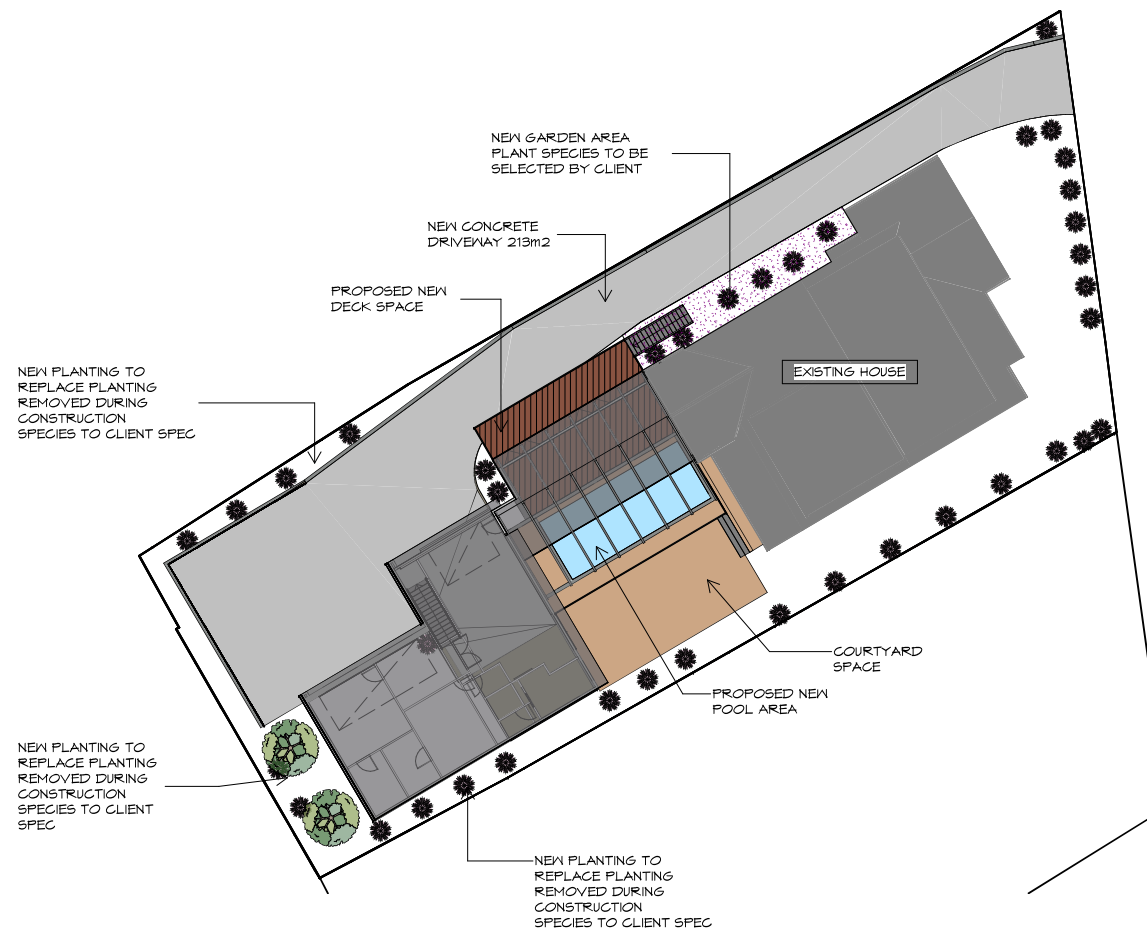


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Project:  
**PROPOSED ADDITIONS/ALTERATIONS**  
 30 LANOMA STREET, EAST LAUNCESTON  
 Client name:  
**P&S SYMONS**  
 Drawing:  
**SITE PLAN**

Drafted by: **A.J.C** Approved by: **F.G.G**  
 Date: **06/10/2020** Scale: **1 : 200**

Project/Drawing no: **PD19316-01** Revision: **09**



**LANDSCAPING PLAN**

1 : 200

**PLANNING**  
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 Client name:  
**P&S SYMONS**

Drawing:  
**LANDSCAPING PLAN**

Drafted by: **A.J.C** Approved by: **F.G.G**

Date: **06/10/2020** Scale: **1 : 200**

Project/Drawing no: **PD19316 -02** Revision: **09**



**LOCALITY PLAN**

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **DOES NOT REQUIRE** A BUSHFIRE ASSESSMENT. RESIDENCE IS **OVER 100m** FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

**PLANNING**  
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Drawing:  
**LOCALITY PLAN**

Drafted by: **A.J.C** Approved by: **F.G.G**

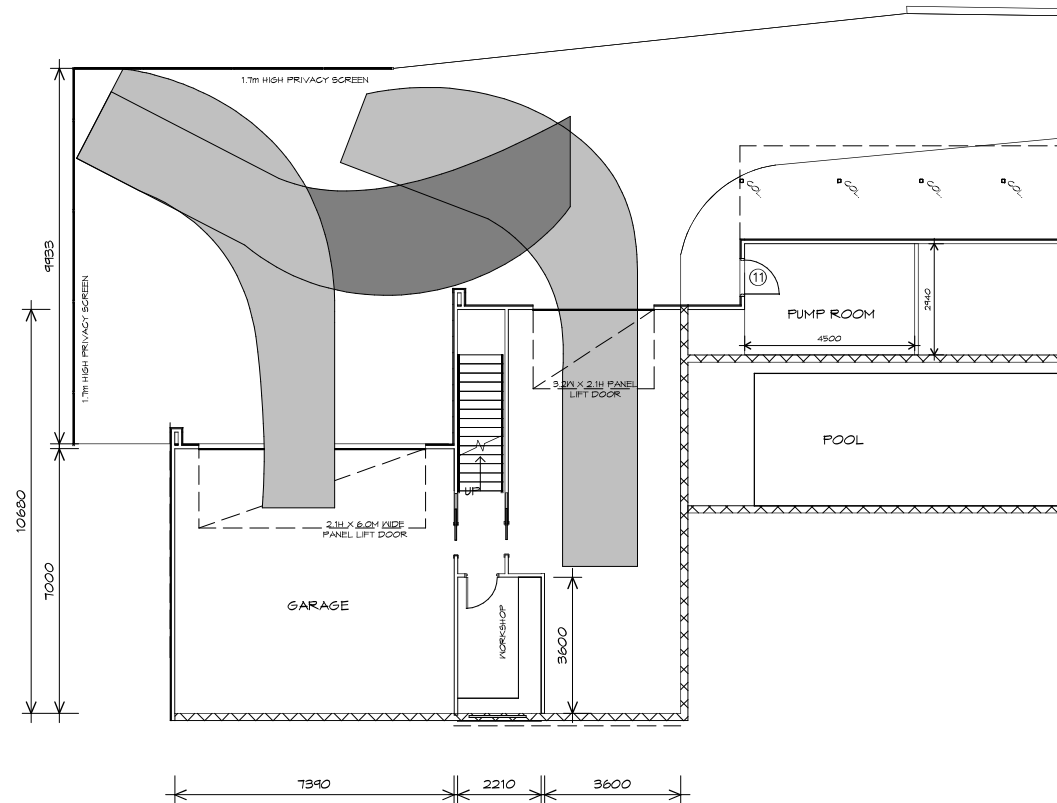
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Project/Drawing no: **PD19316 -03** Revision: **09**



**LEGEND**

- Ⓜ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓜ 240v SMOKE ALARM
- Ⓜ CAVITY SLIDING DOOR
- Ⓜ SLIDING DOOR
- Ⓜ FLOOR WASTE
- Ⓜ SIDELIGHT
- Ⓜ COLUMN
- Ⓜ GLASS SCREEN



**SHED PLAN**

1 : 100

PROPOSED EXTENSION (NOT INCLUDING POOL)	153.09	m2	( 16.46	SQUARES )
GARAGE/WORKSHOP AREA	123.04	m2	( 13.23	SQUARES )
FIRST FLOOR EXISTING AREA	98.29	m2	( 10.51	SQUARES )
EXISTING HOUSE GROUND FLOOR AREA	184.03	m2	( 20.33	SQUARES )
	563.50		60.59	

**NOTE:**  
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

**PLANNING**  
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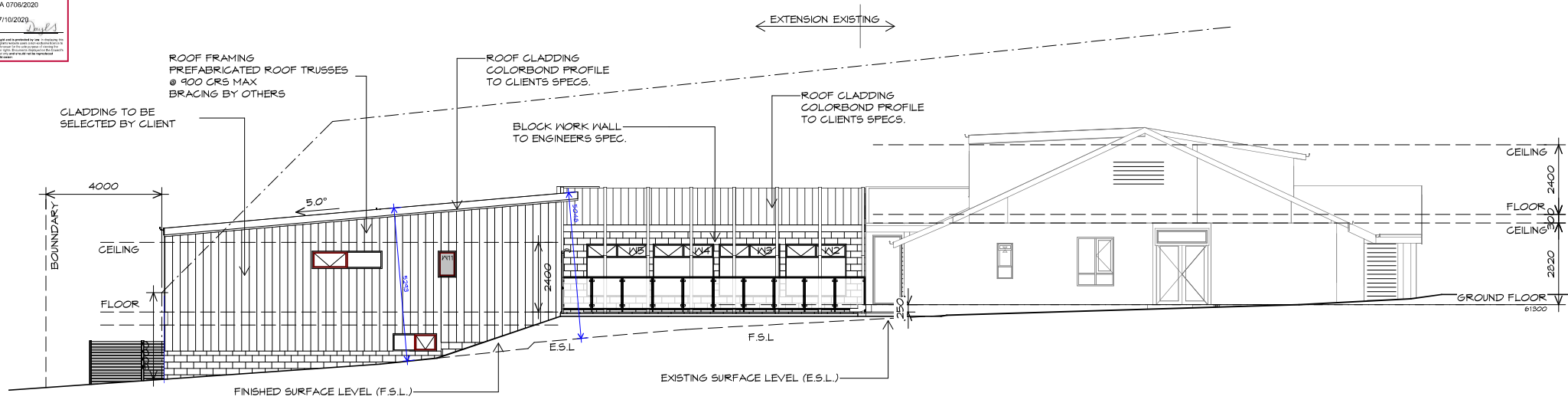
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**P&S SYMONS**

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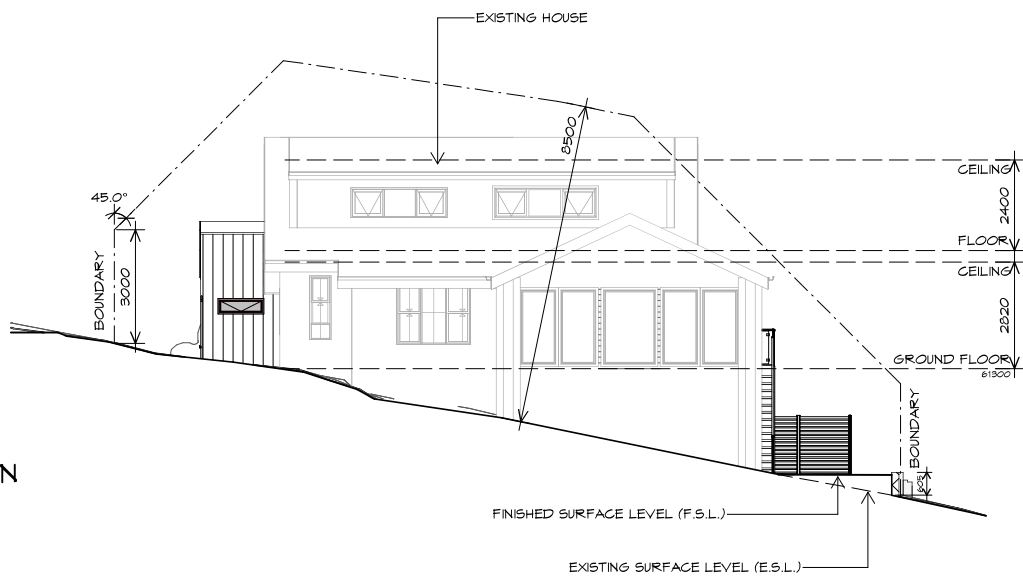
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**SHED FLOOR PLAN**

Drafted by: **A.J.C** Approved by: **F.G.G**  
 Date: **06/10/2020** Scale: **1 : 100**  
 Project/Drawing no: **PD19316 -05** Revision: **09**



**NORTH EASTERN ELEVATION**  
1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2.3.12.3



**SOUTH EASTERN ELEVATION**  
1 : 100

**PLANNING**  
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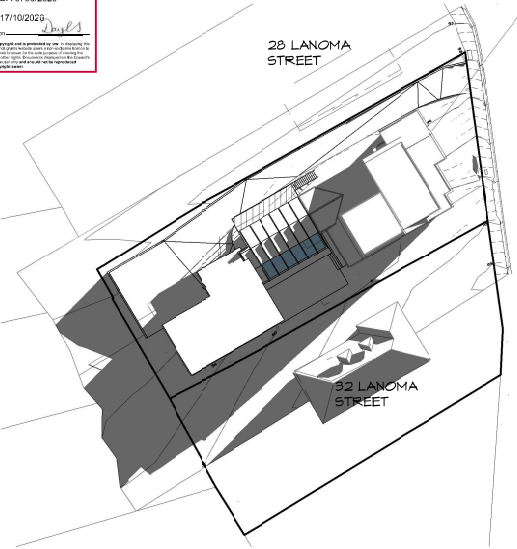
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**ELEVATIONS**

Drafted by: **A.J.C** Approved by: **F.G.G**  
 Date: **06/10/2020** Scale: **1 : 100**

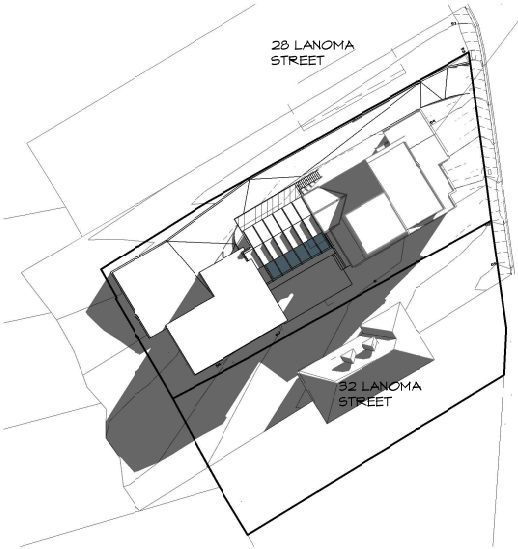
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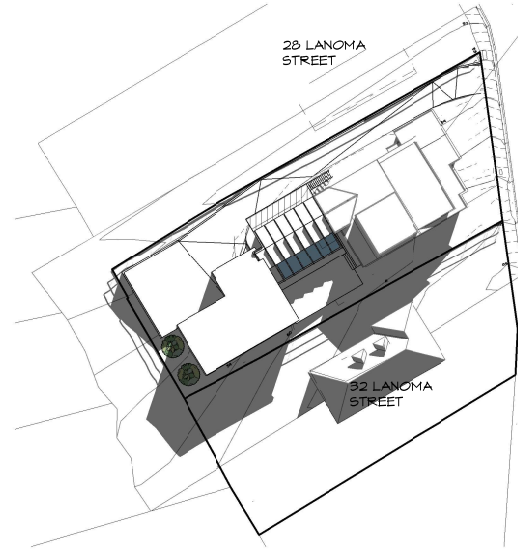




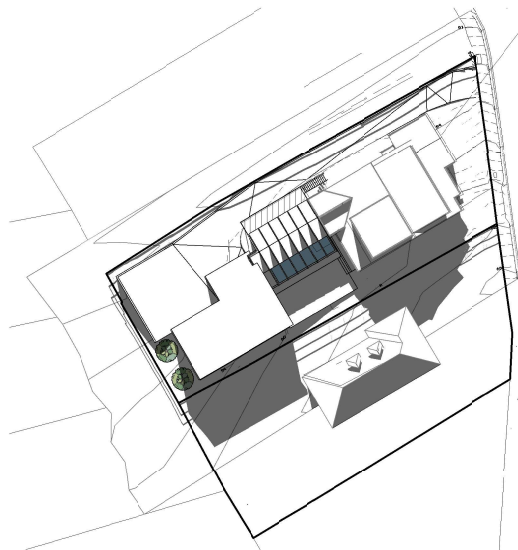
SHADOW DIAGRAM JUNE 21st 9am  
1 : 500



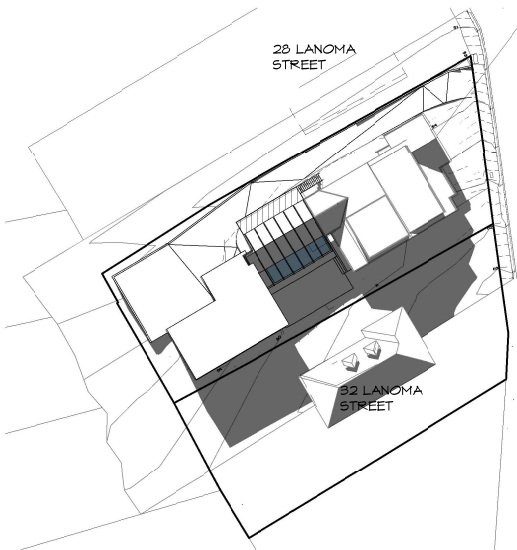
SHADOW DIAGRAM JUNE 21st 10am  
1 : 500



SHADOW DIAGRAM JUNE 21st 11am  
1 : 500



SHADOW DIAGRAM JUNE 21st 1pm  
1 : 500



SHADOW DIAGRAM JUNE 21st 2pm  
1 : 500

**PLANNING**  
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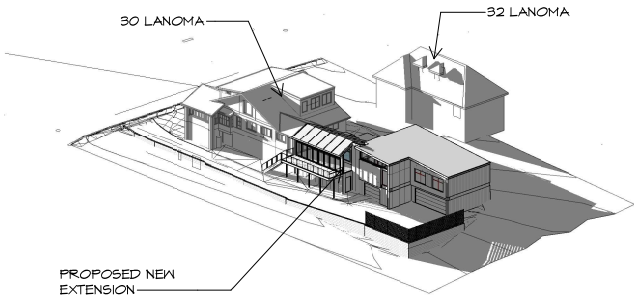


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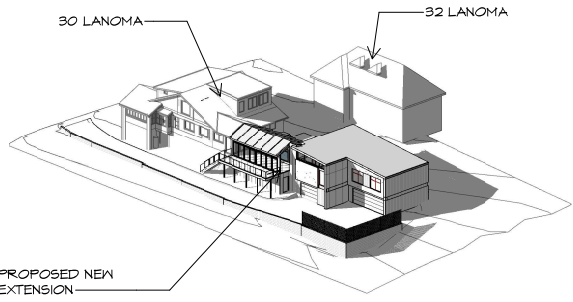
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**SHADOW DIAGRAMS**

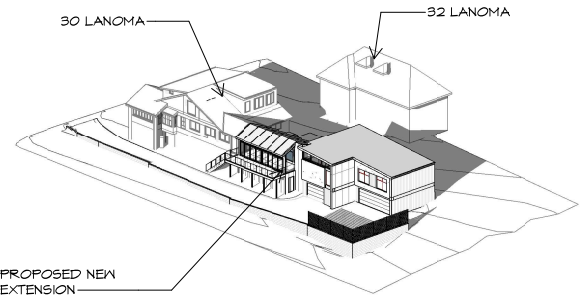
Drafted by: <b>A.J.C</b>	Approved by: <b>F.G.G</b>
Date: <b>06/10/2020</b>	Scale: <b>1 : 500</b>
Project/Drawing no: <b>PD19316 -08</b>	Revision: <b>09</b>



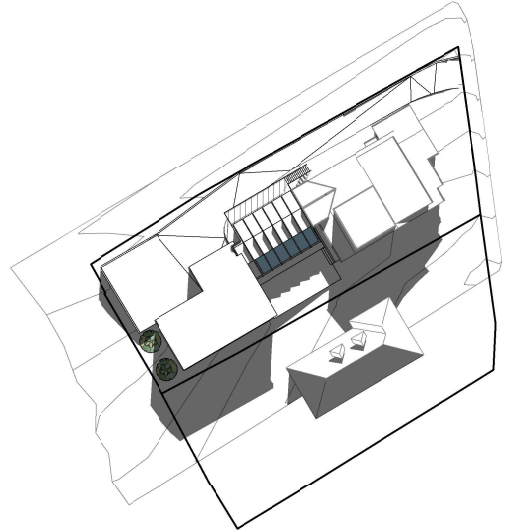
9am SHADOWS



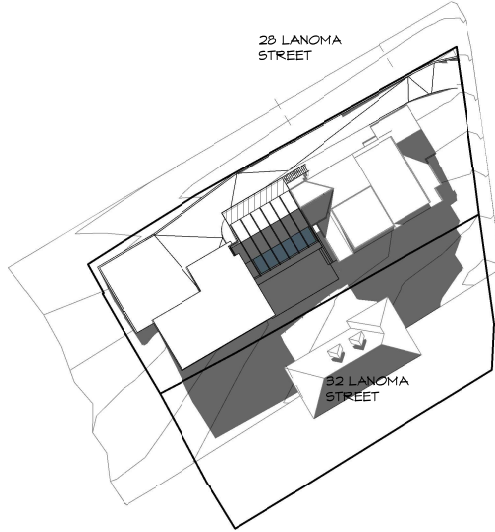
12pm SHADOWS



3pm SHADOWS



SHADOW DIAGRAM JUNE 21st 12pm  
1 : 500



SHADOW DIAGRAM JUNE 21st 3pm  
1 : 500



PLANNING  
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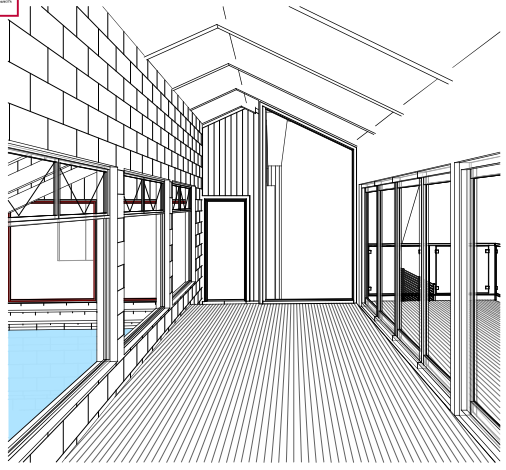
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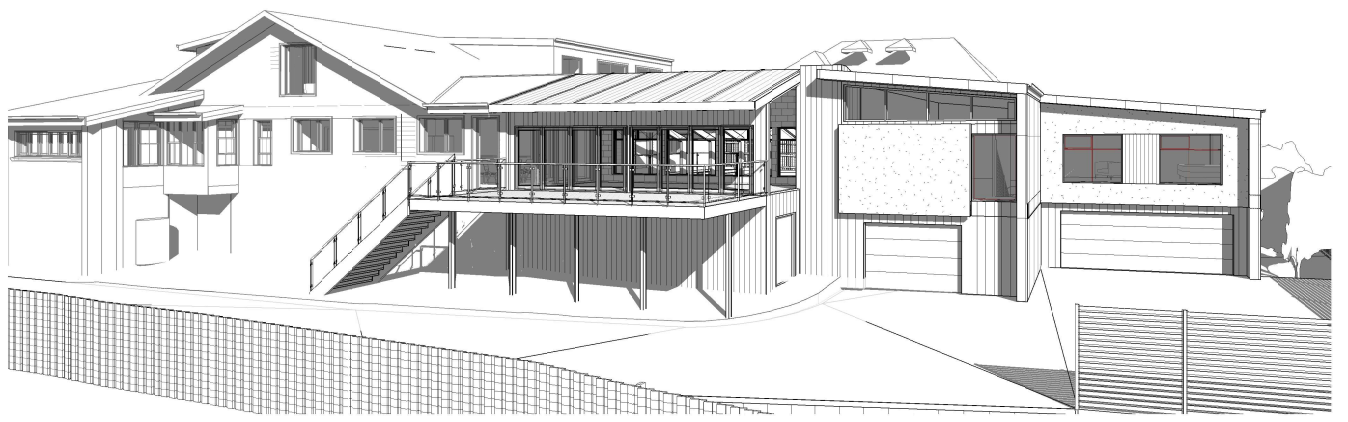
Drawing:  
**SHADOW DIAGRAMS**

Drafted by: **A.J.C** Approved by: **F.G.G**  
 Date: **06/10/2020** Scale: **1 : 500**

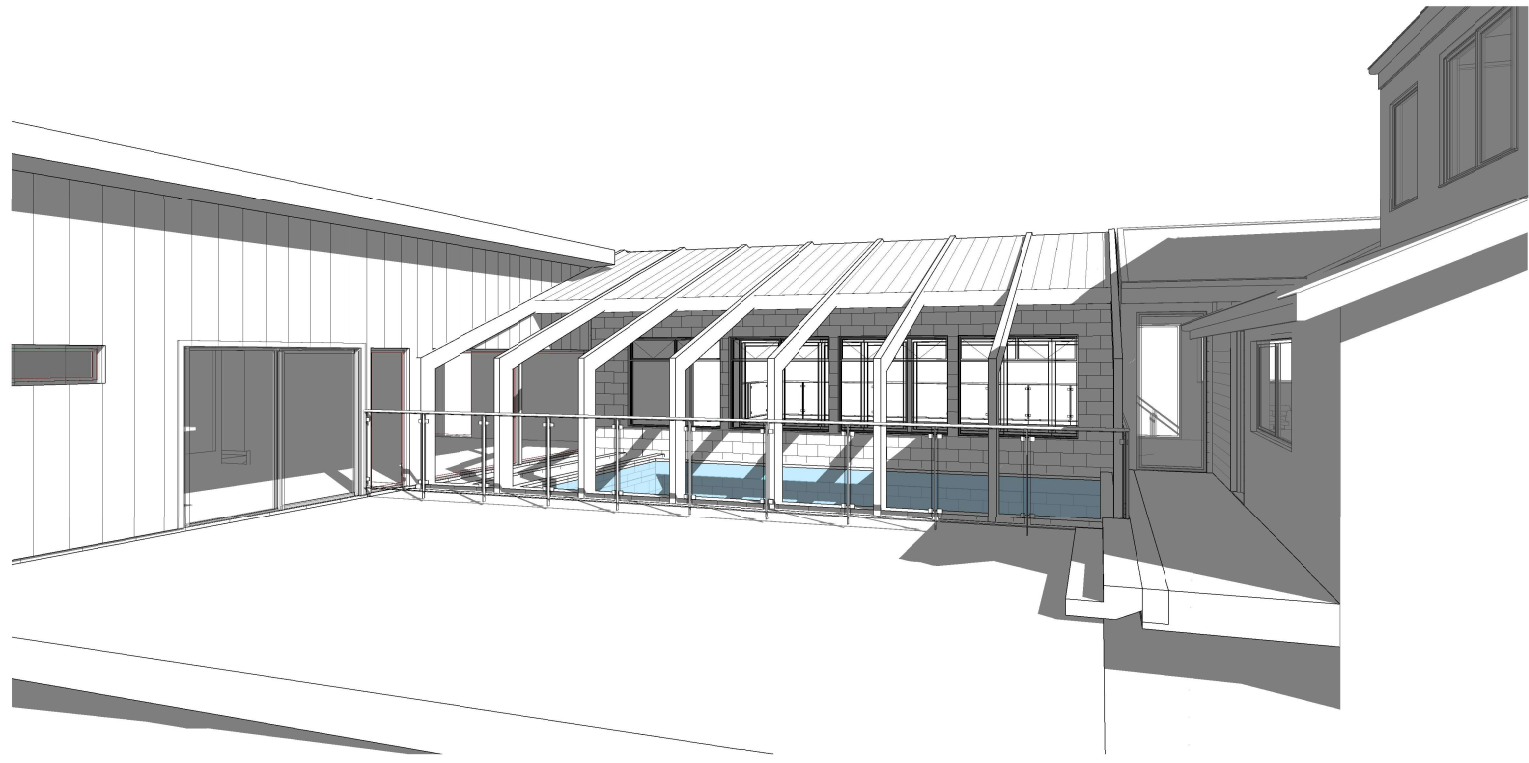
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FROM BREEZEWAY



**PLANNING**  
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POOL/BBQ AREA

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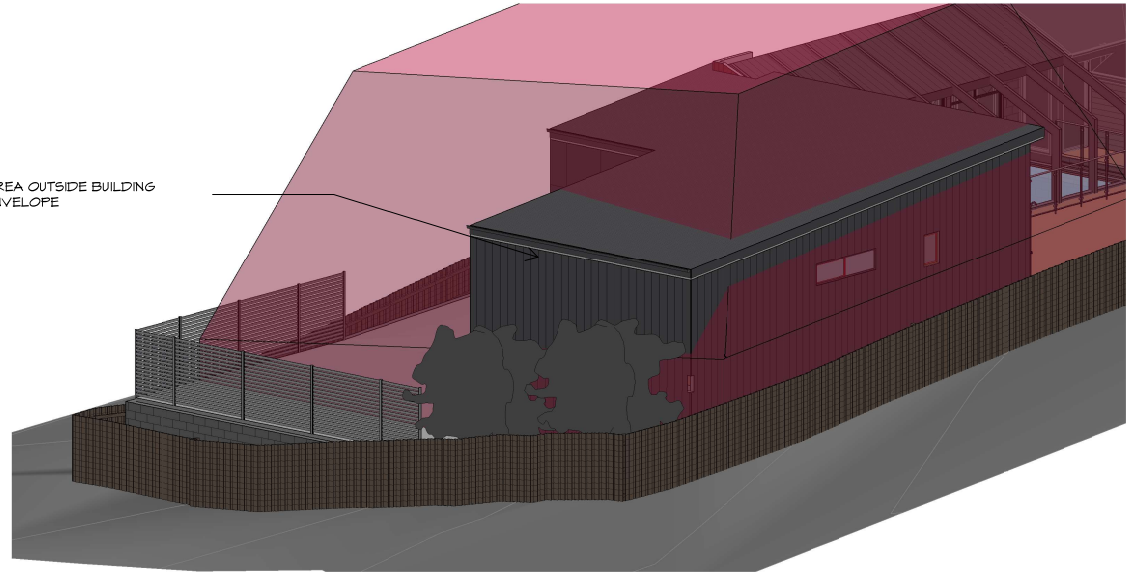
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Drawing:  
**PERSPECTIVES**

Drafted by: **A.J.C** Approved by: **F.G.G**

Date: **06/10/2020** Scale:

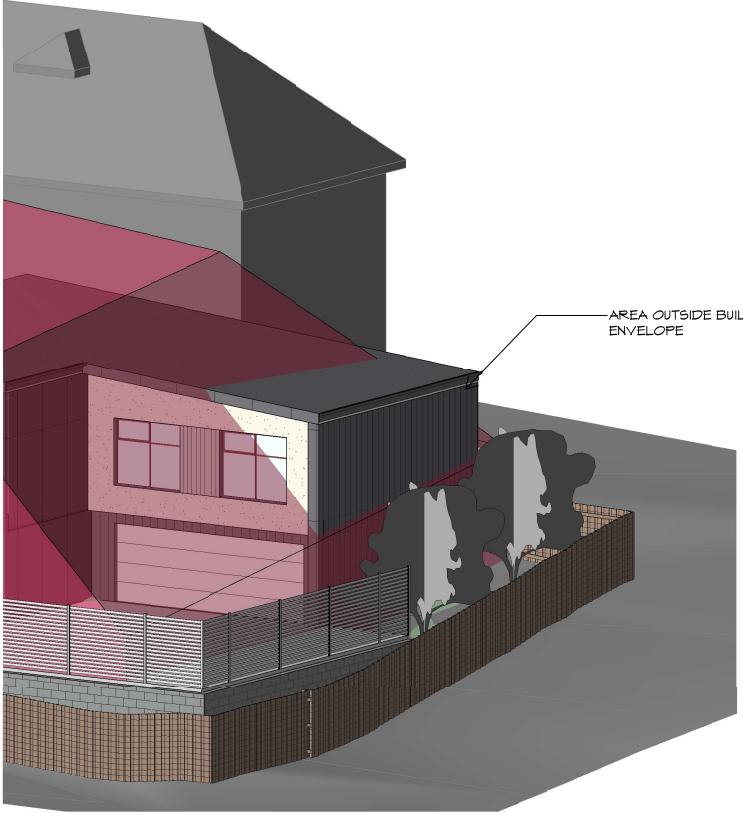
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AREA OUTSIDE BUILDING ENVELOPE

BUILDING ENVELOPE

PLANNING  
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AREA OUTSIDE BUILDING ENVELOPE

BUILDING ENVELOPE



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Drawing:  
**BUILDING ENVELOPE**

Drafted by: Author      Approved by: Approver  
 Date: 06/10/2020      Scale:

Project/Drawing no: PD19316 -11      Revision: 09