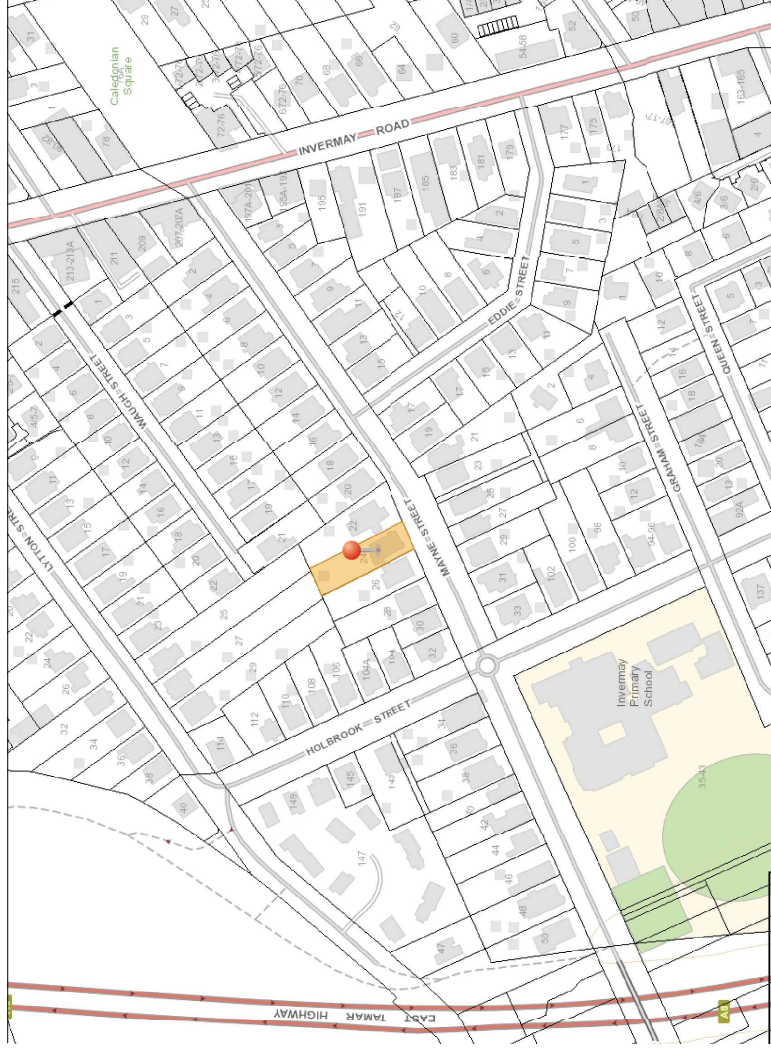


# ALTERATIONS AND ADDITIONS at 24 MAYNE ST, INVERMAY TAS 7248 for GENE MCLAREN

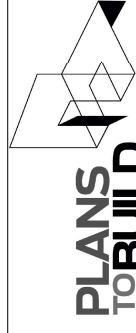


LOCATION PLAN

## DRAWING SCHEDULE

- A00 COVER PAGE
- A01 DEMOLITION SITE PLAN
- A02 SITE AND DRAINAGE PLAN
- A03 FLOOR PLAN
- A04 ROOF PLAN
- A05 ELEVATIONS
- A06 LIGHTING CALCULATION AND CORROSION TABLE
- A07 GENERAL REQUIREMENTS

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS, THE SHED MANUFACTURERS DRAWINGS AND CERTIFICATION FORMS



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**GENERAL NOTES:**  
 IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD COMPLIANCES.

PROJECT INFORMATION:		SITE AREA:	WIND SPEED	LAND TITLE VOLUME & FOLIO
FLOOR AREAS: NEW SHED FLOOR AREA - 84m <sup>2</sup> EXISTING DWELLING AREA - 182m <sup>2</sup> AWNING AREAS - 27m <sup>2</sup> + 14m <sup>2</sup>	796m <sup>2</sup>	<b>N2</b>	<b>CT-233063/1</b>	
SITE OVERLAYS: FLOOD INUNDATION AREA	SITE CLASSIFICATION: <b>H1</b>	CLIMATE ZONE: <b>7</b>	ALPINE AREA: <b>N/A</b>	BUSHFIRE ATTACK LEVEL: <b>EXEMPT</b>
COUNCIL: LAUNCESTON	WIND REGION: <b>A3</b>	CORROSION ENVIRONMENT: <b>MODERATE</b>	TERRAIN CLASSIFICATION: <b>T3</b>	
SCHEME / ZONE: 10 GENERAL RESIDENTIAL	SCALE: IF IN DOUBT ASK <b>SCALE @ A3</b>	PRINT DATE: <b>12/10/2021</b>	PROJECT NUMBER: <b>21053</b>	

ISSUED FOR PLANNING APPROVAL	12.10.21
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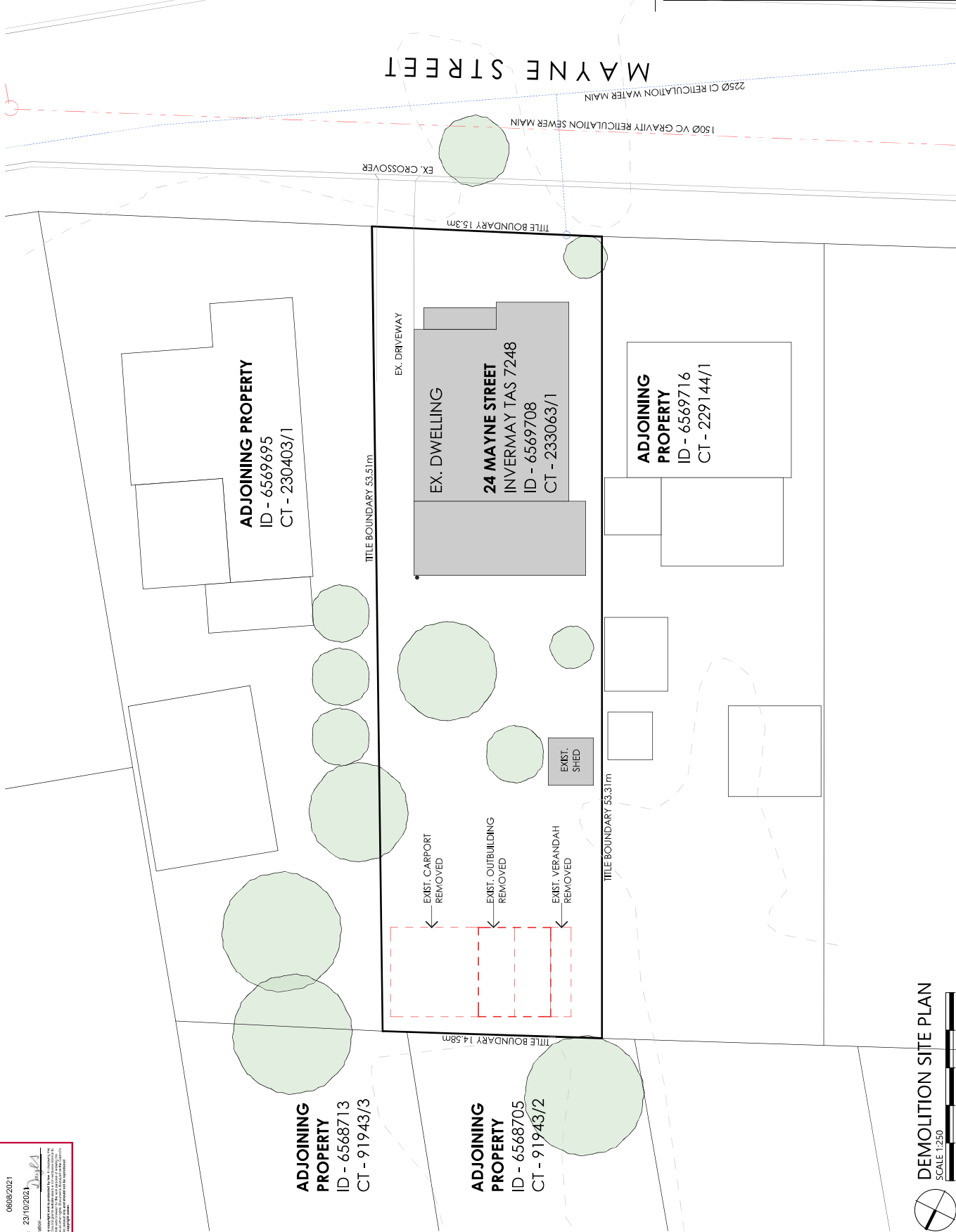
**DEMOLITION LEGEND**

- WALLS, WINDOWS DOORS AND JOINERY SHOWN DOTTED IS TO BE DEMOLISHED AND REMOVED
- EXISTING WALLS RETAINED

THE CONTRACTOR SHALL CARRY OUT THE REQUIRED DEMOLITION OF THE EXISTING BUILDING ELEMENTS NOMINATED ON THIS PLAN IN STRICT ACCORDANCE WITH THE DOCUMENTATION & AS22601 - THE DEMOLITION OF STRUCTURES.

DEMOLITION WORKS SHALL BE UNDERTAKEN IN A SAFE & ENVIRONMENTALLY ACCEPTABLE MANNER. CONTRACTOR SHALL MAKE ALL ALLOWANCES AS REQUIRED FOR DEMOLITION, REMOVALS & RELOCATIONS TO SUIT THE NEW WORKS.

ALL ITEMS TO BE DEMOLISHED SHOWN DOTTED TYPICALLY. CONTACT DIAL BEFORE YOU DIG PRIOR TO ANY EXCAVATION WORKS. THE EXISTING RESIDENCE MAY CONTAIN ASBESTOS. ANY ASBESTOS SHALL BE REMOVED IN ACCORDANCE WITH WORK SAFE TASMANIA CODE OF PRACTICE CP113 & STATUTORY REGULATIONS



**DEMOLITION SITE PLAN**  
 SCALE 1:250  
 0mm 2500 5000 7500 10000 12500  
 North

**ALTERATIONS AND ADDITIONS**

**24 MAYNE ST, INVERMAY TAS 7248**

PROJECT NUMBER: **21053**

SCALE: IF IN DOUBT ASK **SCALE @ A3**

PRINT DATE: **12/10/2021**

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**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**GENE MCLAREN**

ISSUED FOR PLANNING APPROVAL	12.10.21
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0	
ISSUE: DA	REV: 0
DRAWING No:	<b>2 of 8</b>
<b>A01</b>	

**SITE PLAN NOTES**

**SURFACE AND SUBSURFACE DRAINAGE SYSTEMS**  
 IN ACCORDANCE WITH PART D2, NCC PLUMBING CODE OF AUSTRALIA. VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3.

**SOIL AND WATER MANAGEMENT**  
 PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT), ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

**ROOF DRAINAGE SYSTEMS** IN ACCORDANCE WITH PART D1, NCC PLUMBING CODE OF AUSTRALIA. VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A ROOF DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3 OR FOR CLASS 1 AND CLASS 10 BUILDINGS, COMPLY WITH THE DEEMED-TO-SATISFY PROVISIONS OF PARTS 3.1.2 AND 3.5.2 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA.

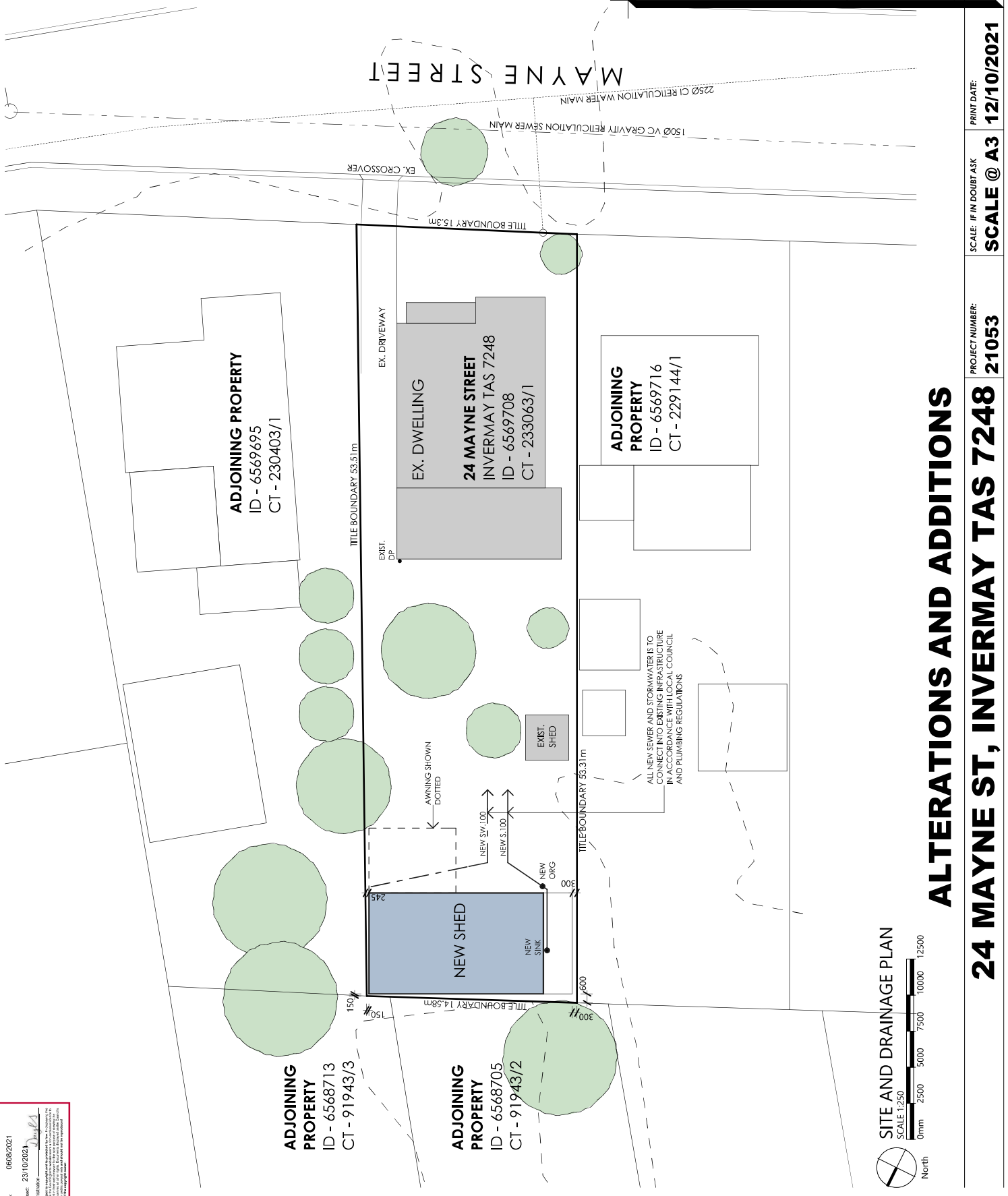
NEW 100mm DWV PVC S/N6 STORMWATER PIPE WITH 1: 100 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW

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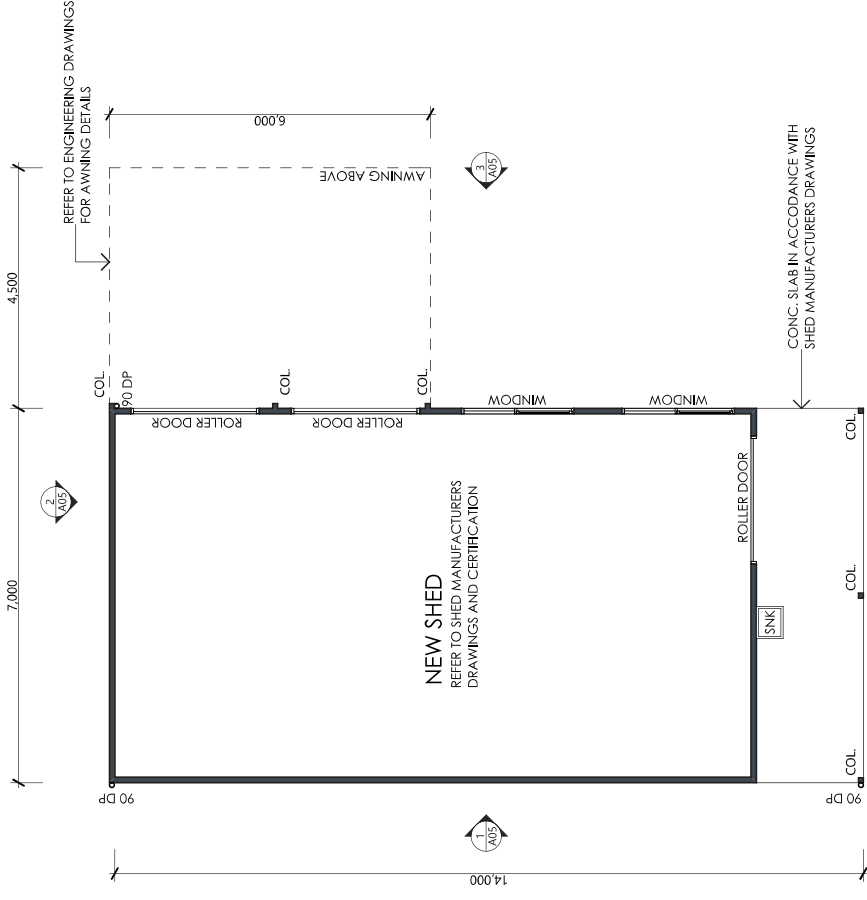
**SITE AND DRAINAGE PLAN**  
 SCALE 1:250  
 0mm 2500 5000 7500 10000 12500  
 North

**ALTERATIONS AND ADDITIONS**

**24 MAYNE ST, INVERMAY TAS 7248**

PROJECT NUMBER: **21053**  
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 PRINT DATE: **12/10/2021**

- FLOOR PLAN LEGEND**
- NEW WALLS, REFER TO ENGINEERING DRAWINGS
  - NEW COLUMNS, REFER TO ENGINEERING DRAWINGS
  - 90mm DOWNPIPE, PAINT FINISH, CONNECT ALL DOWNPIPES INTO STORMWATER SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS
  - COL
  - 90 DP



# ALTERATIONS AND ADDITIONS

## 24 MAYNE ST, INVERMAY TAS 7248

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0			Date
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**ROOF PLAN NOTES**

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. GUTTERS TO HAVE A MINIMUM FALL OF 1 in 500 ALL DWA PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH.

BOX GUTTERS IN ACCORDANCE WITH AS/NZS 3500.3 AND TO HAVE A MINIMUM FALL OF 1 in 100

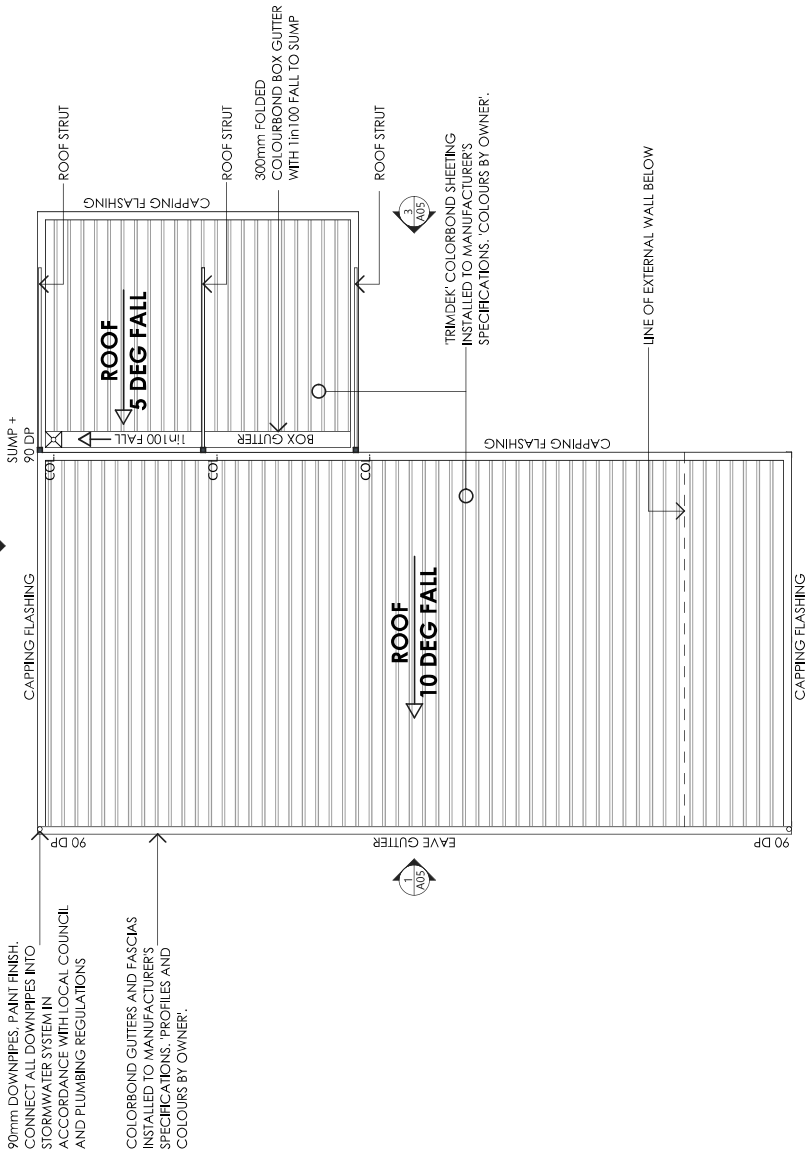
AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPINGS, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.

REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.

ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1684.4 SECTION 9 TABLES 9.2 TO 9.7.

REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.



90mm DOWNPIPES. PAINT FINISH. CONNECT ALL DOWNPIPES INTO STORMWATER SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

COLORBOND GUTTERS AND FASCIAS INSTALLED TO MANUFACTURER'S SPECIFICATIONS. PROFILES AND COLOURS BY OWNER.



**ALTERATIONS AND ADDITIONS**

**24 MAYNE ST, INVERMAY TAS 7248**

PROJECT NUMBER: **21053**  
 SCALE: IF IN DOUBT ASK **SCALE @ A3**  
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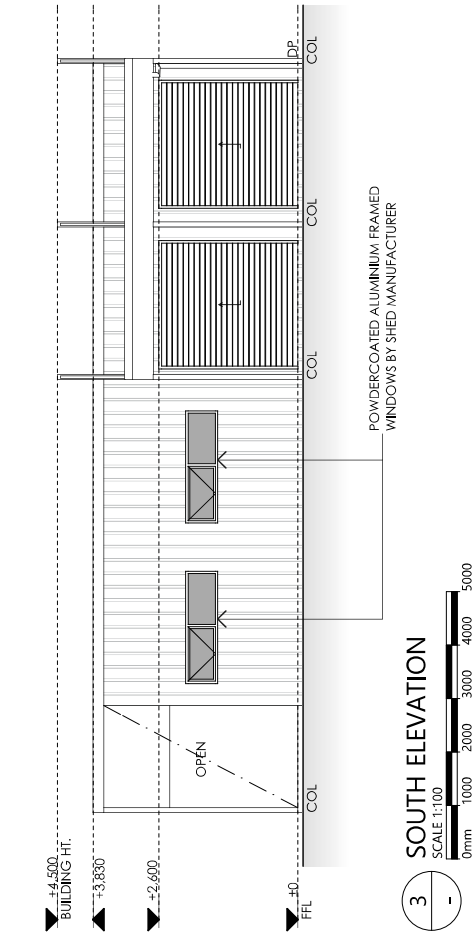
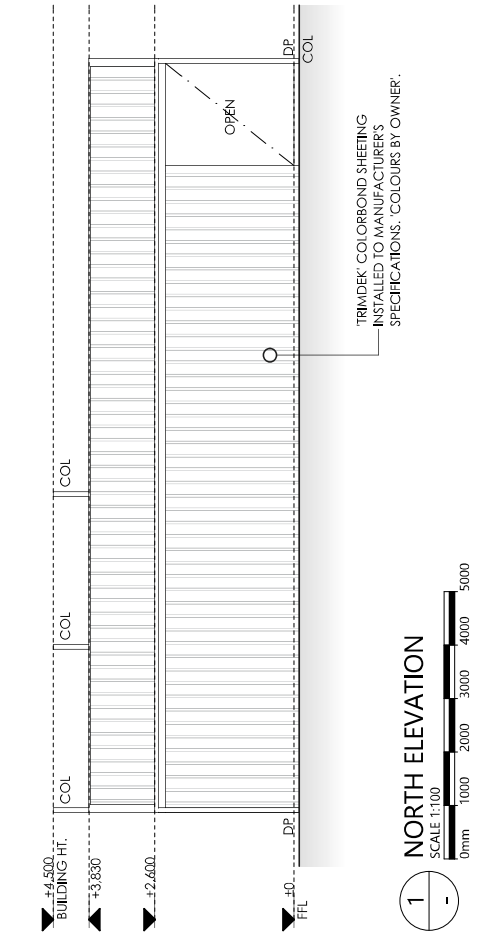
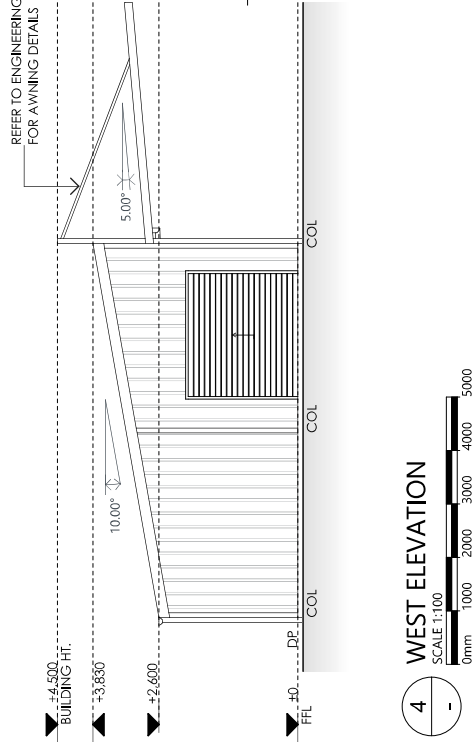
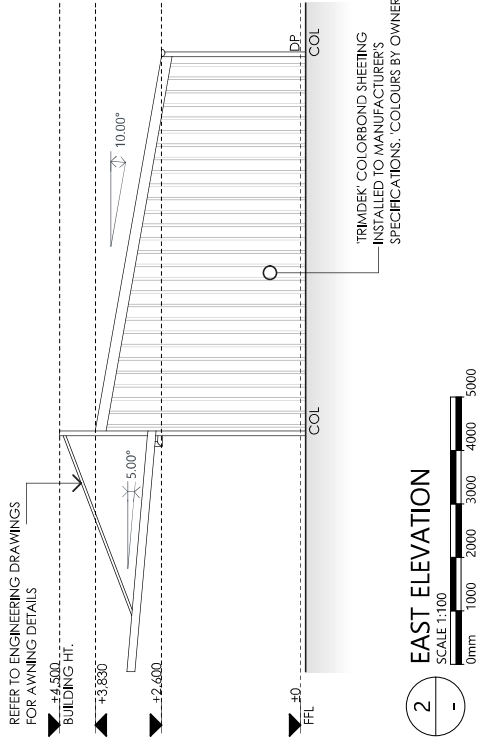
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DRAWING No:	ISSUE: DA
<b>A04</b>	REV: 0
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**ELEVATION NOTES**

- WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS, INSTRUCTIONS & SPECIFICATIONS.
- INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS, SEALS, FININGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.
- REFER TO GLAZING CALCULATOR FOR WINDOW & GLAZING DETAILS TYP.
- DAMP PROOF COURSE, CONTROL JOINTS AND WEEP HOLES PROVIDED TO BRICKWORK AT APPROPRIATE INTERVALS IN ACCORDANCE WITH AS/NZS 4454 AND ENGINEERING DRAWINGS



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<b>12/10/2021</b>		

**ALTERATIONS AND ADDITIONS**  
**24 MAYNE ST, INVERMAY TAS 7248**



Lighting  
Class 1 buildings

ABCB

Main Menu Help

National Construction Code

Calculator

Building name/description  
Example building

Classification  
Class 1

Number of rows preferred in table below  
3  
(as currently displayed)

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor		Adjustment	Satisfies Part 3.12.5.5	
						Dimming % Area	Dimming % of Full Power		Lamp or Illumination Power Density Allowance	System Share of % of Aggregate Allowance Used
1	SHED	Other verandah or balcony	84.0 m <sup>2</sup>	252 W	Class 10a building				3.0 W/m <sup>2</sup>	100% of 100%
2	AWNING 1	Other verandah or balcony	14.0 m <sup>2</sup>	56 W	Verandah or balcony				4.0 W/m <sup>2</sup>	50% of 100%
3	AWNING 2	Other verandah or balcony	27.0 m <sup>2</sup>	108 W	Verandah or balcony				4.0 W/m <sup>2</sup>	50% of 100%
			125.0 m <sup>2</sup>	416 W					<b>Design Average</b>	
									<b>Allowance</b>	
									4.0 W/m <sup>2</sup>	4.0 W/m <sup>2</sup>
									3.0 W/m <sup>2</sup>	3.0 W/m <sup>2</sup>

Class 10a building (associated with a Class 1 building)

if inputs are valid

**IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THIS LIGHTING CALCULATOR**  
By accessing or using this calculator, you agree that you are using a complete and up-to-date version of this calculator. It may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website ([www.abcb.gov.au](http://www.abcb.gov.au)). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information. Software and representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.

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PLANNING EXHIBITED DOCUMENTS

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Approved: 23/10/2021

Planning Administration:

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# CORROSION TABLE

## 3.4.4.7 PROTECTIVE COATINGS FOR STEELWORK MODERATE ENVIRONMENT

LOCATION	MINIMUM PROTECTIVE COATINGS
INTERNAL	NO PROTECTION REQUIRED IN A PERMANENTLY DRY LOCATION; REFER TO NOTES
EXTERNAL	OPTION 1:- 2 COATS ALKYD PRIMER OPTION 2:- 2 COATS ALKYD GLOSS OPTION 3:- HOT DIP GALVANISED 300g/m <sup>2</sup> -MIN PLUS OPTION 4:- HOT DIP GALVANISED 100g/m <sup>2</sup> -MIN PLUS (a) 1 COAT SOLVENT BASED VINYL PRIMER; OR (b) 1 COAT VINYL GLOSS OR ALKYD

**NOTES**  
THE OUTER LEAF AND CAVITY OF AN EXTERNAL MASONRY WALL OF A BUILDING, INCLUDING WALLS UNDER OPEN CARPORTS ARE CONSIDERED TO BE EXTERNAL ENVIRONMENTS. A PART OF AN INTERNAL LEAF OF AN EXTERNAL MASONRY WALL WHICH IS LOCATED IN THE ROOF SPACE IS CONSIDERED TO BE IN AN INTERNAL ENVIRONMENT.

WHERE A PAINT FINISH IS APPLIED THE SURFACE OF THE STEEL WORK MUST BE HAND OR POWER TOOL CLEANED TO REMOVE ANY RUST IMMEDIATELY PRIOR TO PAINTING.

ALL ZINC COATINGS (INCLUDING INORGANIC ZINC) REQUIRE A BARRIER COAT TO STOP CONVENTIONAL DOMESTIC ENAMELS FROM PEELING.

REFER TO PAINT MANUFACTURER WHERE DECORATIVE FINISHES ARE REQUIRED. ON TOP OF THE MINIMUM COATING SPECIFIED IN THE TABLE FOR PROTECTION OF THE STEEL AGAINST CORROSION.

INTERNAL LOCATIONS SUBJECT TO MOISTURE, SUCH AS IN CLOSE PROXIMITY TO KITCHEN OR BATHROOM EXHAUST FANS ARE NOT CONSIDERED TO BE IN A PERMANENTLY DRY LOCATION AND PROTECTION AS SPECIFIED FOR EXTERNAL LOCATIONS IS REQUIRED.

FOR APPLICATIONS OUTSIDE THE SCOPE OF THIS TABLE, SEEK SPECIALIST ADVICE

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DRAWING No: **A06** ISSUE: DA  
7 of 8 REV: 0

# ALTERATIONS AND ADDITIONS

## 24 MAYNE ST, INVERMAY TAS 7248

PROJECT NUMBER: **21053**

SCALE: IF IN DOUBT ASK **SCALE @ A3**

PRINT DATE: **12/10/2021**

# GENERAL REQUIREMENTS

## 3.1 SITE PREPARATION

### 3.1.1 EARTHWORKS

DIAL BEFORE YOU DIG TO LOCATE UNDERGROUND SERVICES. THE BUILDER SHALL PROVIDE TEMPORARY SHORING FOR ANY EXCAVATION WORK WITHIN 1m FROM THE TITLE BOUNDARY. ANY EXCAVATION DEPTH OVER 1m IN HEIGHT FROM NATURAL GROUND SHOULD BE REFERRED TO THE ENGINEER TO CONFIRM THE STABILITY OF THE SURROUNDING GROUND. PROVIDE Silt FENCING TO LOCAL COUNCIL GUIDELINES.

### 3.1.3 DRAINAGE

REFER TO PLUMBING NOTES

### 3.1.4 TERMITES RISK MANAGEMENT

TERMITE RISK MANAGEMENT NOT APPLICABLE FOR TASMANIAN WORKS

## 3.2 FOOTINGS AND SLABS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL FOOTINGS AND SLABS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS 2870 OR AS 2159 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART

### 3.2.2 PREPARATION

REFER TO ENGINEERING DRAWINGS

### 3.2.3 CONCRETE AND REINFORCING

REFER TO ENGINEERING DRAWINGS

### 3.2.4 SITE CLASSIFICATION

REFER TO ENGINEERING DRAWINGS

### 3.2.5 FOOTING AND SLAB CONSTRUCTION

REFER TO ENGINEERING DRAWINGS

## 3.3 MASONRY

### 3.3.1 UNREINFORCED MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL UNREINFORCED MASONRY SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & APPROPRIATE AND THE REQUIREMENTS OF THE BCA

### 3.3.2 REINFORCED MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, REINFORCED MASONRY SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS 3700 OR AS 4773 PARTS 1 & 2 AS APPROPRIATE AND THE REQUIREMENTS OF THE BCA

### 3.3.3 MASONRY ACCESSORIES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY ACCESSORIES SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS 3700 OR AS 4773 PARTS 1 & 2 AS APPROPRIATE AND THE REQUIREMENTS OF THE BCA

### 3.3.4 WEATHERPROOFING OF MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, WATERPROOFING OF MASONRY SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS 3700 OR AS 4773 PARTS 1 & 2 AS APPROPRIATE AND THE REQUIREMENTS OF THE BCA

## 3.6 GLAZING

### 3.6.0 GLAZING

REFER TO ATTACHED GLAZING CALCULATOR

## 3.7 FIRE SAFETY

### 3.7.1 FIRE PROPERTIES FOR MATERIAL & CONSTRUCTION

NOT APPLICABLE

### 3.7.2 FIRE SEPARATION OF EXTERNAL WALLS

NOT APPLICABLE

### 3.7.3 FIRE PROTECTION OF SEPARATING WALLS AND FLOORS

NOT APPLICABLE

### 3.7.4 FIRE SEPARATION OF GARAGE TOP DWELLINGS

NOT APPLICABLE

### 3.7.5 SMOKE ALARMS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SMOKE ALARMS SHALL BE CONNECTED TO CONSUMER MAINS POWER WHERE CONSUMER POWER IS SUPPLIED TO THE BUILDING, INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM AND BE IN STRICT COMPLIANCE WITH AUSTRALIAN STANDARDS AS 3786

## 3.8 HEALTH AND AMENITY

### 3.8.1 WET AREAS AND EXTERNAL WATERPROOFING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL WET AREAS MUST BE WATERPROOFED OR MADE RESISTANT TO STRICT COMPLIANCE TABLE 1 AND WITH AUSTRALIAN STANDARD AS 3740

### 3.8.2 ROOM HEIGHTS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL ROOMS IN HABITABLE ROOMS AND MINIMUM 2100mm IN NON-HABITABLE ROOMS

### 3.8.3 FACILITIES

REFER TO FLOOR PLAN FOR LOCATION OF FACILITIES

### 3.8.4 LIGHT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL NATURAL LIGHTING PROVIDED BY THE FOLLOWING:

WINDOWS HAVE AN AGGREGATE LIGHT TRANSMITTING AREA OF AT LEAST 10% OF THE FLOOR AREA OF THE ROOM; GLAZING BARS OR OTHER OBSTRUCTIONS OF NOT LESS THAN 10% OF THE FLOOR AREA OF THE ROOM;

### 3.8.5 ROOF LIGHTS

HAVE AN AGGREGATE LIGHT TRANSMITTING AREA MEASURED EXCLUSIVE OF FRAMED MEMBERS, GLAZING BARS OR OTHER OBSTRUCTIONS OF NOT LESS THAN 3% OF THE FLOOR AREA OF THE ROOM;

## 3.8 HEALTH AND AMENITY

### 3.8.5 VENTILATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, WINDOWS, DOORS OR OTHER EXTERNAL OPENINGS HAVE A VENTILATING AREA OF NOT LESS THAN 5% OF THE FLOOR AREA

FLOOR AREA	OPENINGS	FLOOR AREA PERCENTAGE
##m <sup>2</sup>	##m <sup>2</sup>	5%min

### 3.8.6 SOUND INSULATION

NOT APPLICABLE

### 3.8.7 CONDENSATION MANAGEMENT

REFER TO THE GUIDE IN THE GUIDE FOR CONTROL OF CONDENSATION AND MOULD IN TASMANIAN HOMES THAT SHOULD BE ADHERED TO WHERE POSSIBLE

### 3.8.7.2 PLIABLE BUILDING MEMBRANE

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, PLIABLE BUILDING MEMBRANES SHALL BE IN STRICT COMPLIANCE WITH AUSTRALIAN STANDARD AS 4200 AND BE VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6, 7 & 8

### 3.8.7.3 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO PART 3.8.7.3

### 3.8.7.4 VENTILATION OF ROOF SPACES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO PART 3.8.7.4

## 3.9 SAFE MOVEMENT AND ACCESS

### 3.9.1 STAIR CONSTRUCTION

ALL STAIR CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH PART 3.9.1 OF THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO

### 3.9.2 RISER AND GOING DIMENSIONS (mm)

RISER	GOING
115 MINIMUM	240 MINIMUM
190 MAXIMUM	355 MAXIMUM

NOTE: THE RISER OPENING MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS

### 3.9.3 BALUSTRADE AND HANDRAILS

ALL BALUSTRADE AND HANDRAIL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH PART 3.9.2 OF THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO

ALL BALUSTRADE AND HANDRAIL HEIGHTS MUST NOT BE LESS THAN 865mm ABOVE THE NOSING OF STAIR TREADS OR THE FLOOR OF A RAMP OR 1m ABOVE THE FLOOR OF ANY ACCESS PATH.

SURFACE FINISHING OR THE LIKE WHERE THE SURFACE BENEATH IS MORE THAN 1m

NOTE: BALUSTRADE OPENINGS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH

### 3.9.3 NOT USED

NOT APPLICABLE

## 3.10 ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION REQUIREMENTS

NOT APPLICABLE

## 3.11 STRUCTURAL DESIGN MANUALS

REFER TO ENGINEERING DRAWINGS

## 3.12 ENERGY EFFICIENCY

REFER TO ATTACHED GLAZING CALCULATOR, LIGHTING CALCULATOR AND INSULATION SCHEDULE

### 3.12.1 BUILDING FABRIC

REFER TO PLANS AND ATTACHED INSULATION SCHEDULE

### 3.12.2 EXTERNAL GLAZING

REFER TO ATTACHED GLAZING CALCULATOR

### 3.12.3 BUILDING SEALING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO

THE CHIMNEY OR FLUE OF AN OPEN SOLID-FUEL HEATING APPLIANCE MUST BE PROTECTED BY A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO ALL OPERABLE WINDOWS AND OTHER SUCH OPENINGS

ROOF LIGHTS MUST BE SEALED, OR CAPABLE OF BEING SEALED

EXHAUST FANS & EVAPORATIVE COOLERS MUST BE FITTED WITH AN SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER, FILTER OR THE LIKE

ROOF'S, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE PROTECTED BY AN AIR SEALS SYSTEMS THAT BE CLOSE FITTING AT CEILINGS, WALL AND FLOOR JUNCTIONS WITH SKIRTING, WALL AND FLOOR ARCHITRAVE, CORNICES OR THE LIKE.

3.12.4 AIR MOVEMENT

NATURALLY VENTILATED REFER TO 3.8.5

### 3.12.5 SERVICES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL ARTIFICIAL LIGHTING, EXCLUDING HEATERS THAT EMIT LIGHT, MUST NOT EXCEED THE ALLOWANCE OF 5W/m<sup>2</sup> FOR THE DWELLING 4W/m<sup>2</sup> FOR VERANDAH OR BALCONY OR THE LIKE & 3W/m<sup>2</sup> FOR GARAGE

3.12.5.3 HEATING AND COOLING DUCTWORK

IF APPLICABLE REFER TO INSULATION SCHEDULE

3.12.5.2 CENTRAL HEATING WATER PIPING

IF APPLICABLE REFER TO INSULATION SCHEDULE



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# ALTERATIONS AND ADDITIONS

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