



Council Meeting - Agenda Item 9.1 - Attachment 2 - Plans to be Endorsed - 21 October 2021  
**PROPOSED ADDITIONAL DWELLING**  
**23 LYTTON ST,**  
**INVERMAY, 7248.**



DRAWING #	DRAWING
LYTT23 - 1	COVER PAGE
LYTT23 - 2	SITE PLAN
LYTT23 - 3	GROUND FLOOR
LYTT23 - 4	FIRST FLOOR
LYTT23 - 5	EXTERNAL SERVICES
LYTT23 - 6	ELEVATIONS NE - SW
LYTT23 - 7	ELEVATIONS SE - NW
LYTT23 - 8	PERSPECTIVES
LYTT23 - 9	LANDSCAPE PLAN
LYTT23 - 10	PRIVATE OPEN SPACE PLAN
LYTT23 - 11	PARKING AND TURNING 1
LYTT23 - 12	PARKING AND TURNING 2
LYTT23 - 13	STRATA PLAN
LYTT23 - 14	SUN STUDIES 1
LYTT23 - 15	SUN STUDIES 2
LYTT23 - 16	SUN STUDIES 3
LYTT23 - 17	SUN STUDIES 4

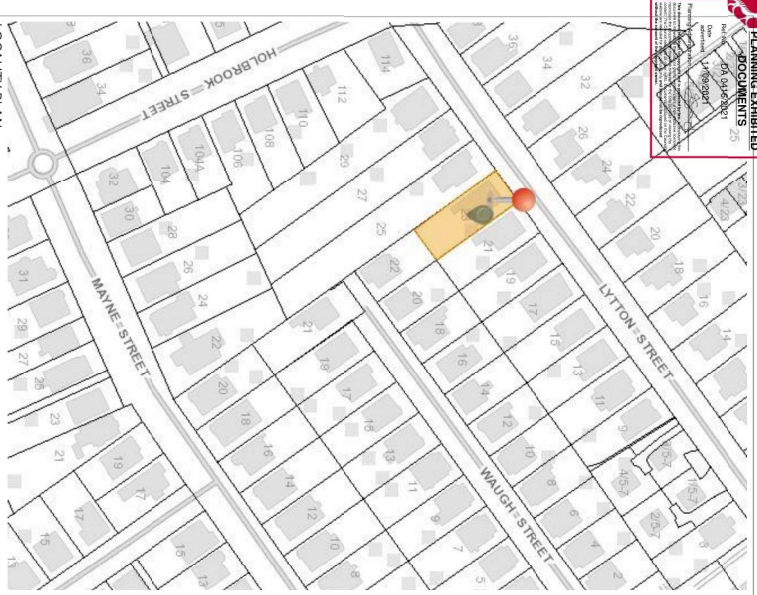
**ATTACHMENTS**

COUNCIL	ZONE	ENERGY STAR RATING	TBC
LCC	GENERAL RESIDENTIAL	BAL RATING	TBC
PROPOSED FIRST FLOOR PLAN	LAND TITLE REFERENCE	DESIGN WIND CLASS	TBC
PROPOSED GROUND FLOOR PLAN	PROPERTY ID	SOIL CLASSIFICATION	TBC
	LOT SIZE (M <sup>2</sup> )	CLIMATE ZONE	7
	PLANNING OVERLAY	ALPINE AREA	N/A
	SITE HAZARDS	CORROSION ENV'	N/A

ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designlive.com.au W. designlive.com.au	CLIENT/S: M/T PROPERTY (TAS) PTY LTD	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.
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REV.	DATE	DESCRIPTION	DESIGNER	CHECKED	M.L.	JOB NUMBER
R1	28/7/2021	FOR DA				LYTT23
R2	02/09/2021	FOR DA				1/17

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**DRAWING SITE PLAN**

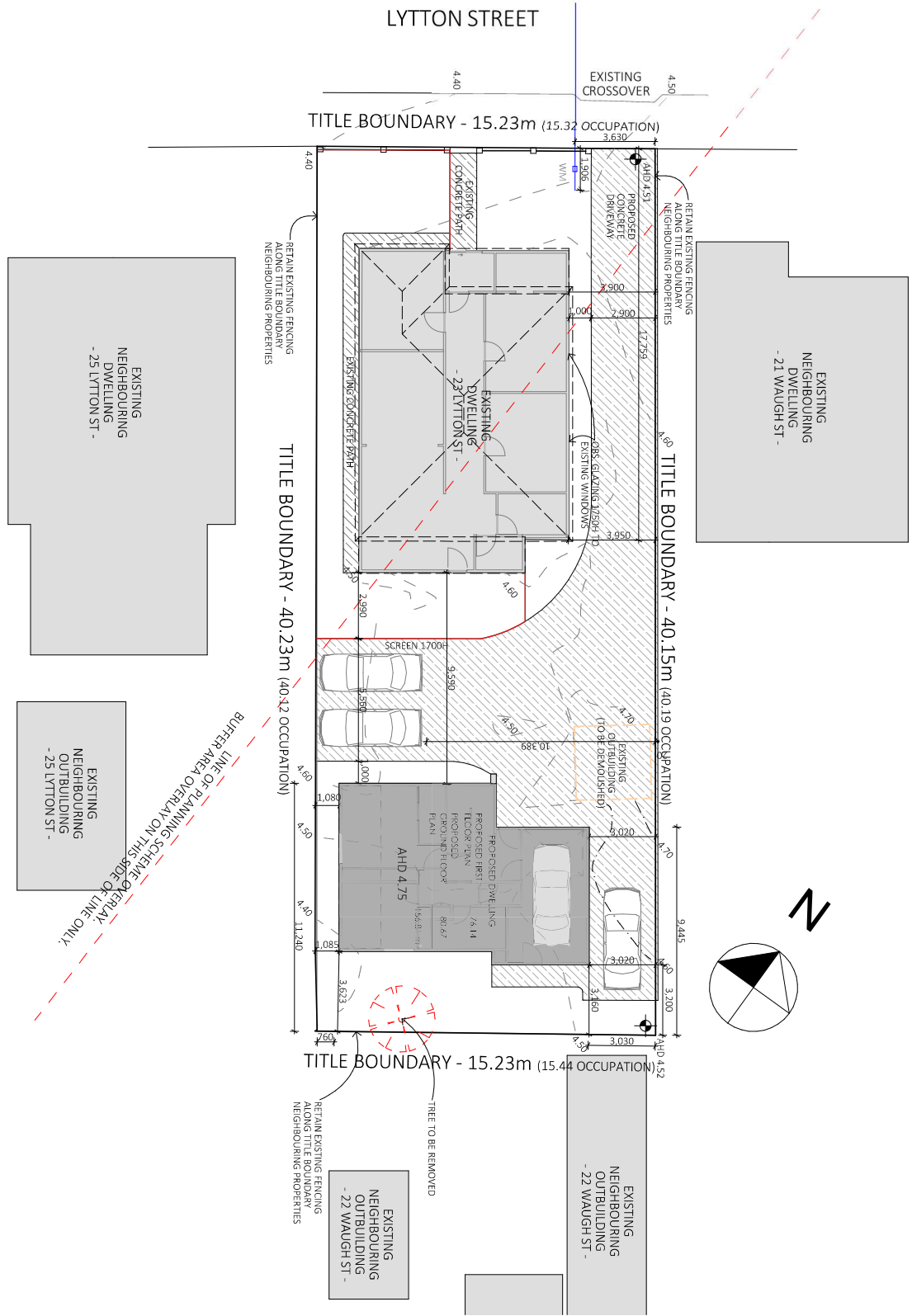
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DESIGNER	DESIGNER	M.L.	JOB NUMBER
DRAWN	C.O.		LYTT23
CHECKED	M.L.		2/17
	SCALE (@A3)		1:200





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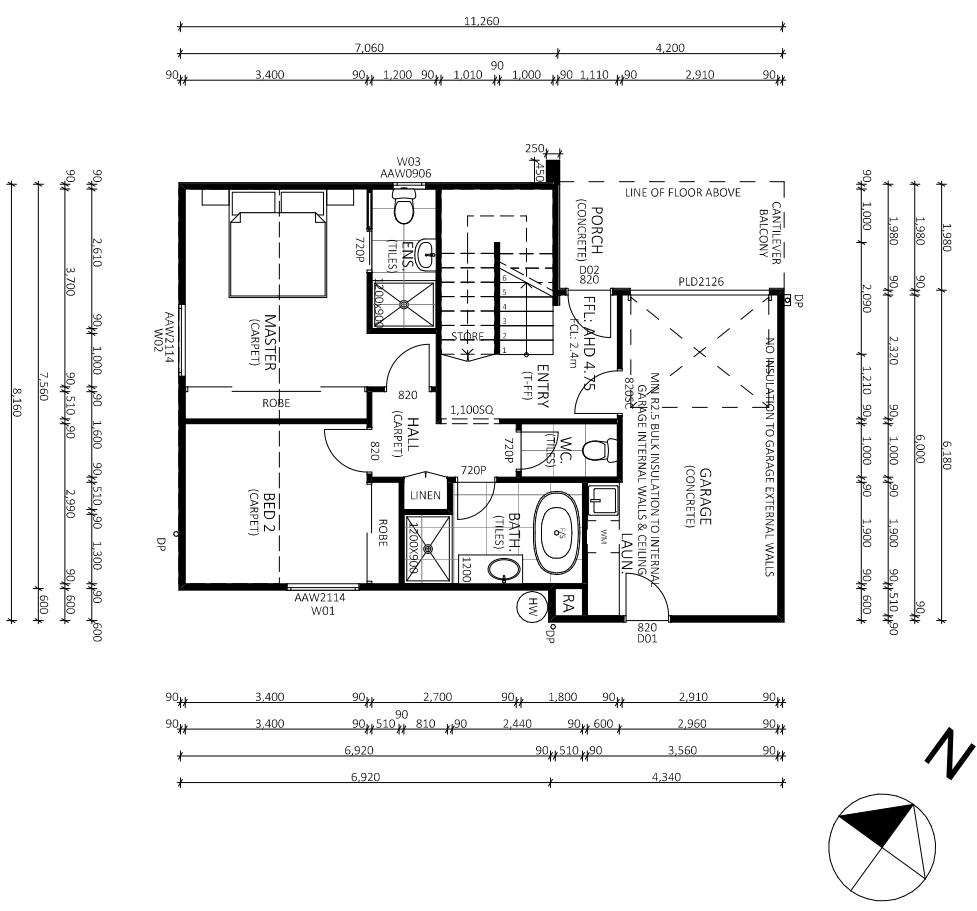
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**DRAWING**  
 GROUND  
 FLOOR

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R1	28/7/2021	FOR DA				LYTT23
R2	02/09/2021	FOR DA				3/17



**SCALE**  
 1:100

Version: 2, Version Date: 09/09/2021

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**DRAWING**  
**FIRST FLOOR**

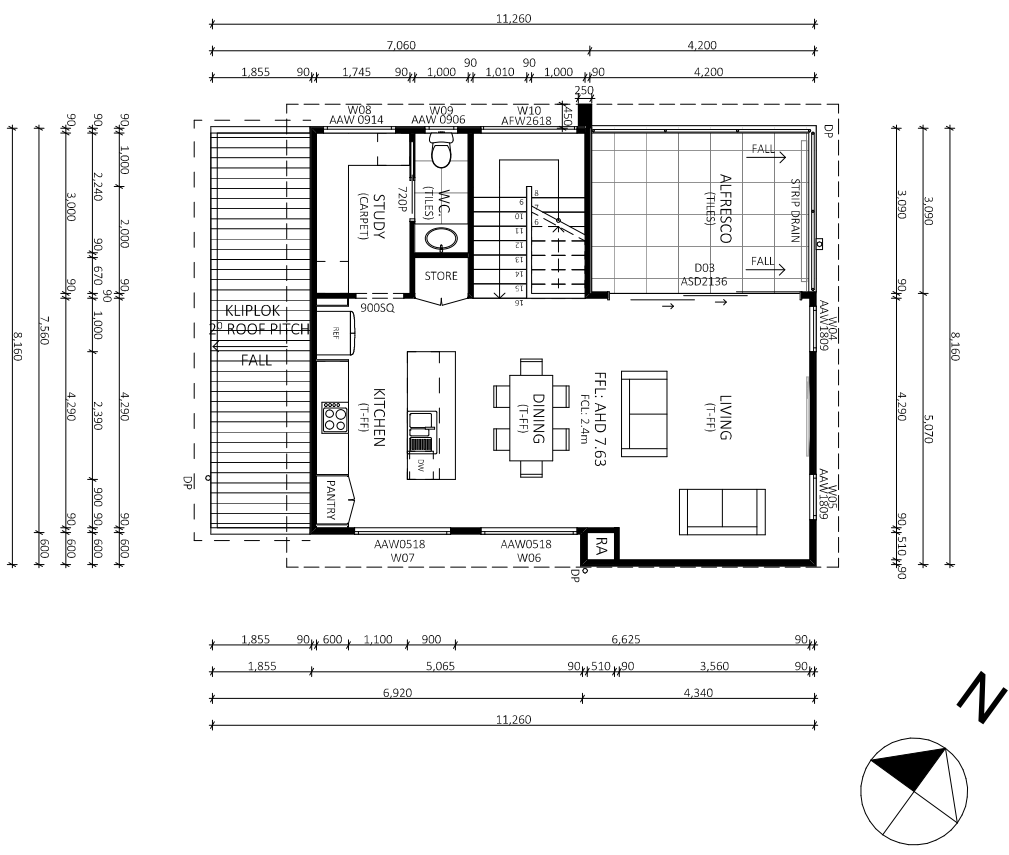
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R1	28/7/2021	FOR DA			LYTT23
R2	02/09/2021	FOR DA			4/17
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b> 1:100

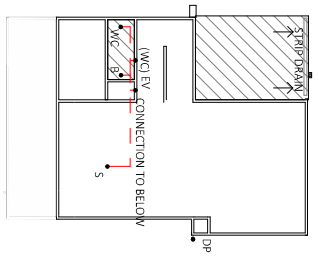


REV.	DATE	DESCRIPTION	DESIGNER	DRAWN	CHECKED	C.O.	JOB NUMBER	SCALE
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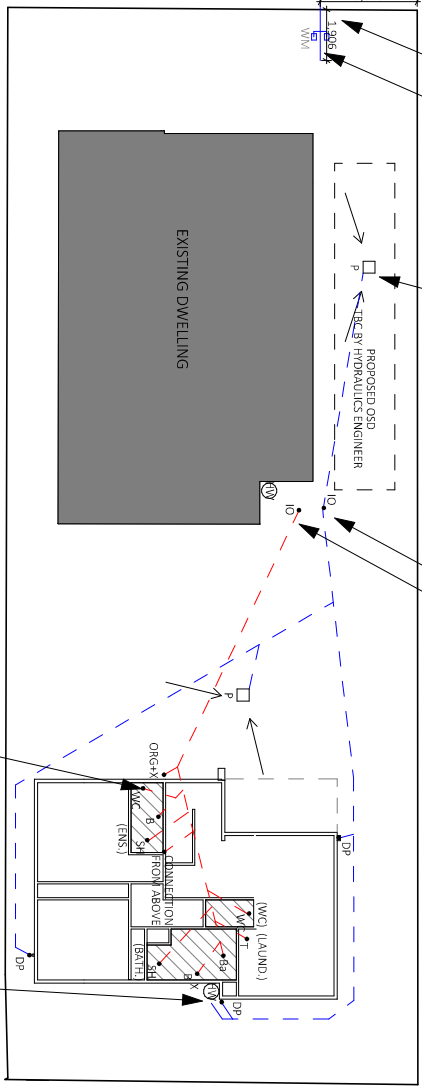
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

- LEGEND**
- BASIN
  - BATH
  - SINK (65Ø)
  - LAUNDRY TUB (65Ø)
  - SHOWER
  - WATER CLOSET
  - FLOOR WASTE
  - VENT (THROUGH TO ROOF)
  - INSPECTION OPENING
  - O/FLOW RELIEF GULLY
  - RODDING EYE
  - HOT WATER CYLINDER
  - EXTERNAL TAP
  - DRAINAGE PIT (450 x 450mm)
  - DOWNPIPE (90 Ø)
  - WET AREAS
  - STORMWATER LINE (100mm PVC)
  - SEWER LINE (100mm PVC)

**FIRST FLOOR**



**GROUND FLOOR**



100MM DI CL WATER MAIN  
 UPGRADE EXISTING DN25 (ID20) WATER CONNECTION TO DN32 (ID25) PROPERTY WATER CONNECTION WITH 2XID20 METERS ON A MAINFOLD PER TW-SD-W-20 SH1 & SH4 BELOW GROUND (BY T/WATER AT DEVELOPERS COST).  
 WATERMETERS MUST BE FITTED AT RIGHT ANGLES TO THE WATERMAIN AND WITHIN 2m OF THE BOUNDARY  
 DRIVEWAY SURFACE WATER TO BE DIRECTED INTO PITS  
 100mm PVC STORM WATER LINES TO EXISTING STORMWATER LINE  
 100mm PVC WASTE WATER LINES TO EXISTING SEWAGE LINE

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.  
 PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

**SERVICES**

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:

- A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
- B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING; AND
- C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

- 1. INTERNAL PIPING
  - a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
    - i) WITHIN AN UNVENTILATED WALL SPACE
    - ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR
    - iii) BETWEEN CEILING INSULATION AND A CEILING
 MUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

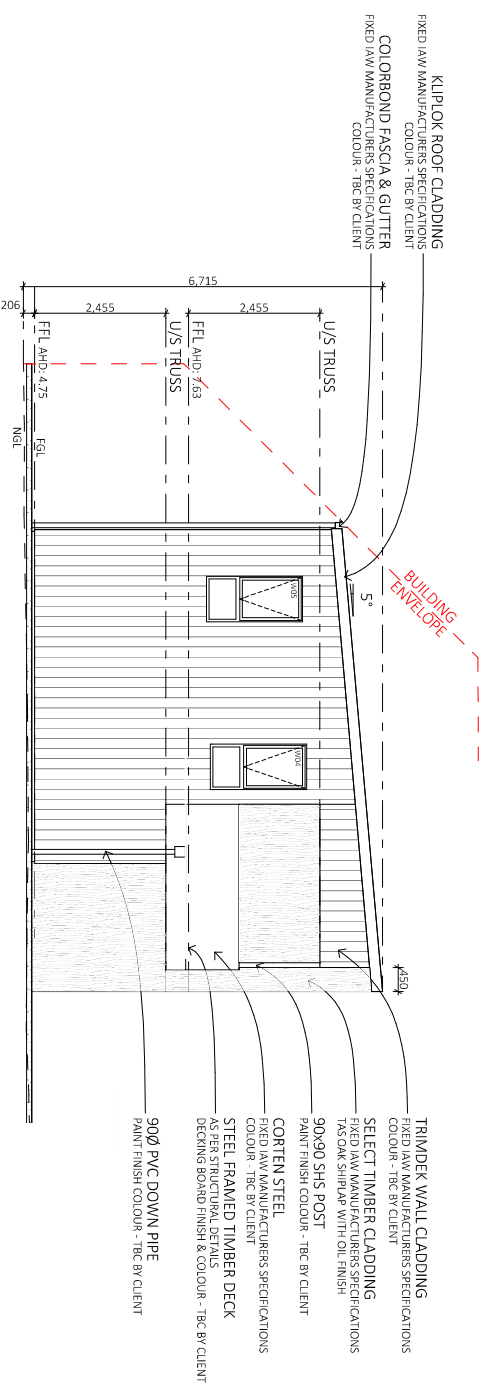
- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE

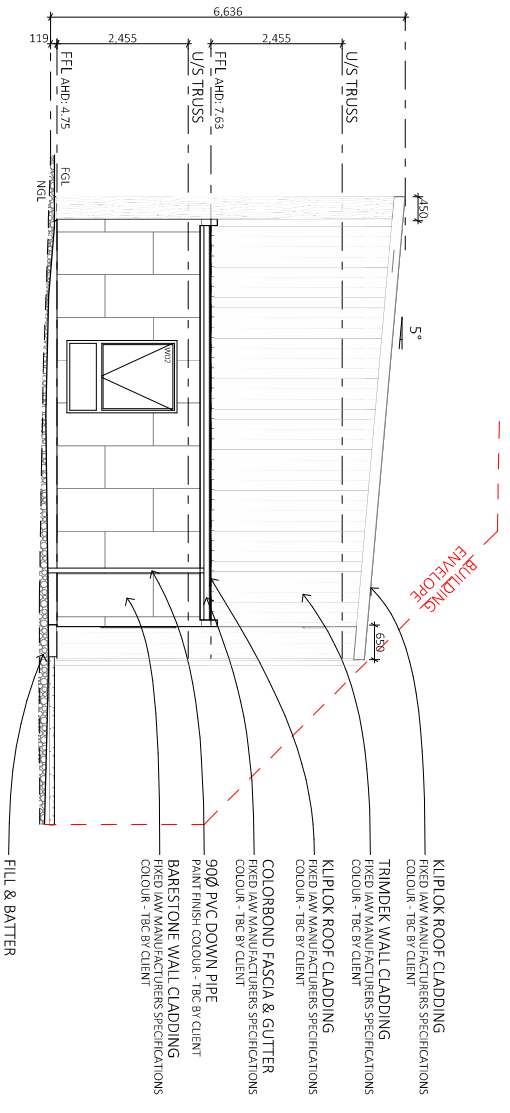
- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTEGRATED CODE WSA 02-2014-3.1 VERSION 3.1 MRWA EDITION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES.



**NORTH-EAST ELEVATION**



**SOUTH-WEST ELEVATION**



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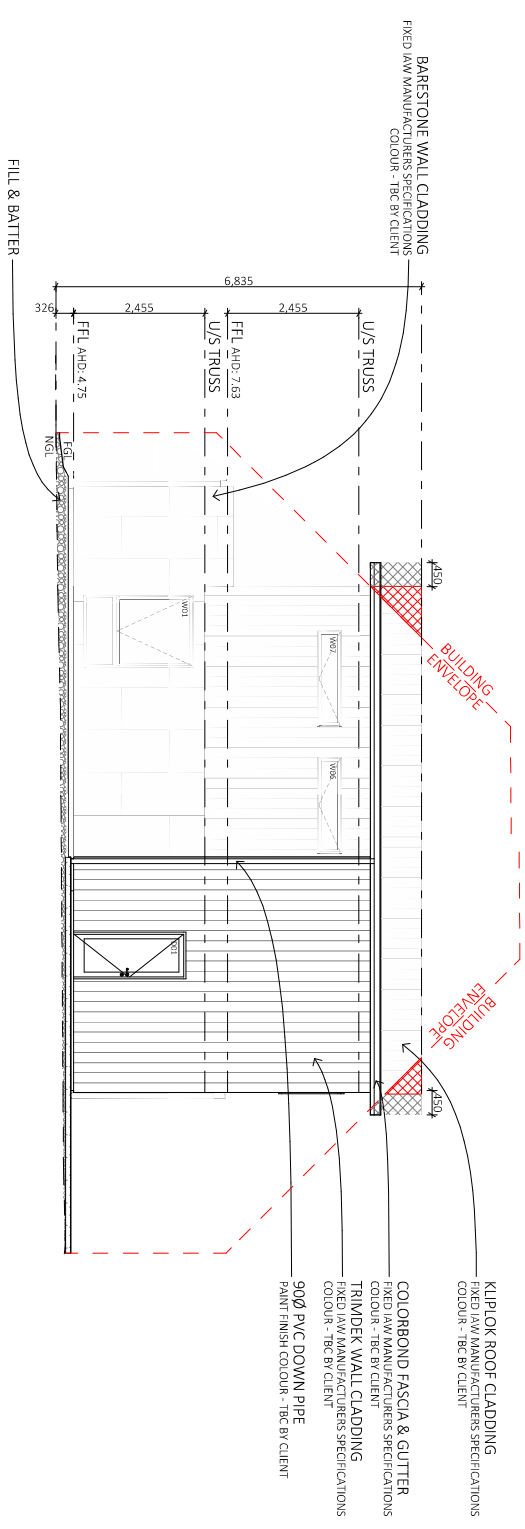
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**NE - SW**

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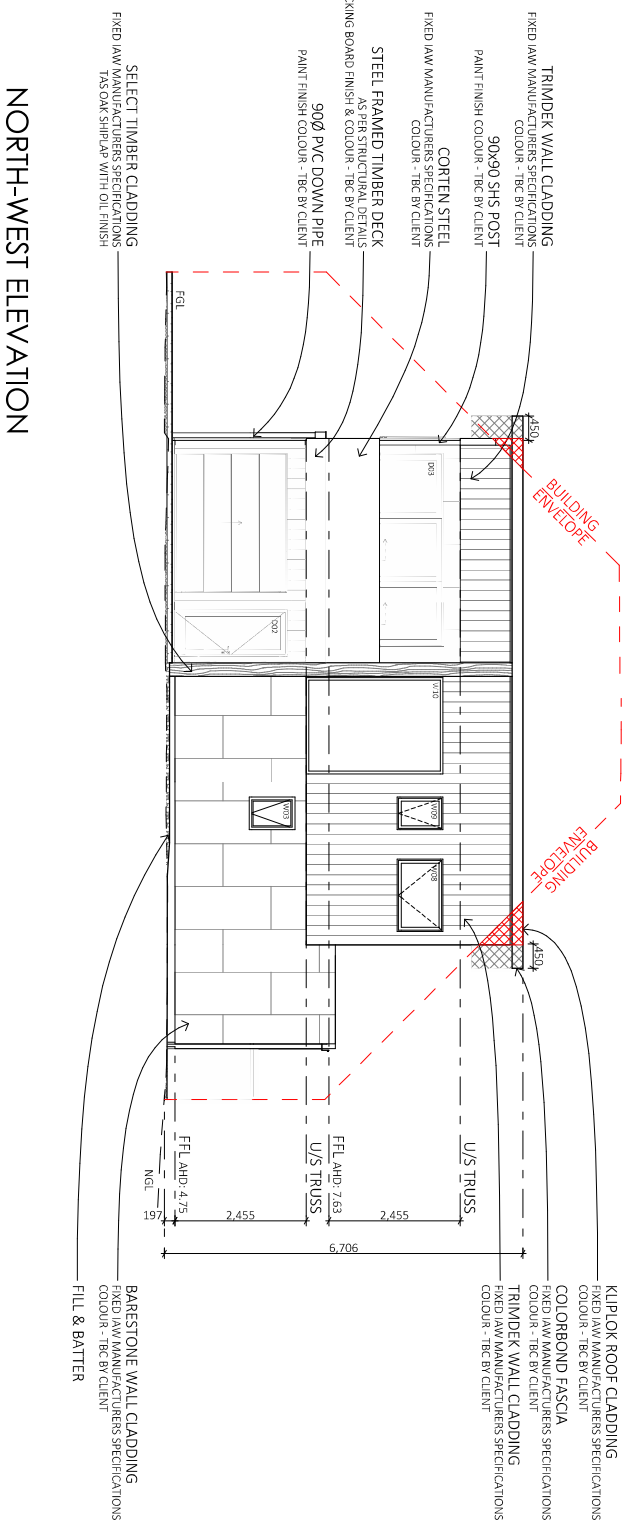
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R1	28/7/2021	FOR DA
R2	02/09/2021	FOR DA

DESIGNER	M.L.	JOB NUMBER	LYTT23
DRAWN	C.O.	DRAWING	6/17
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**SOUTH-EAST ELEVATION**



**NORTH-WEST ELEVATION**



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**DRAWING ELEVATIONS**  
 SE - NW

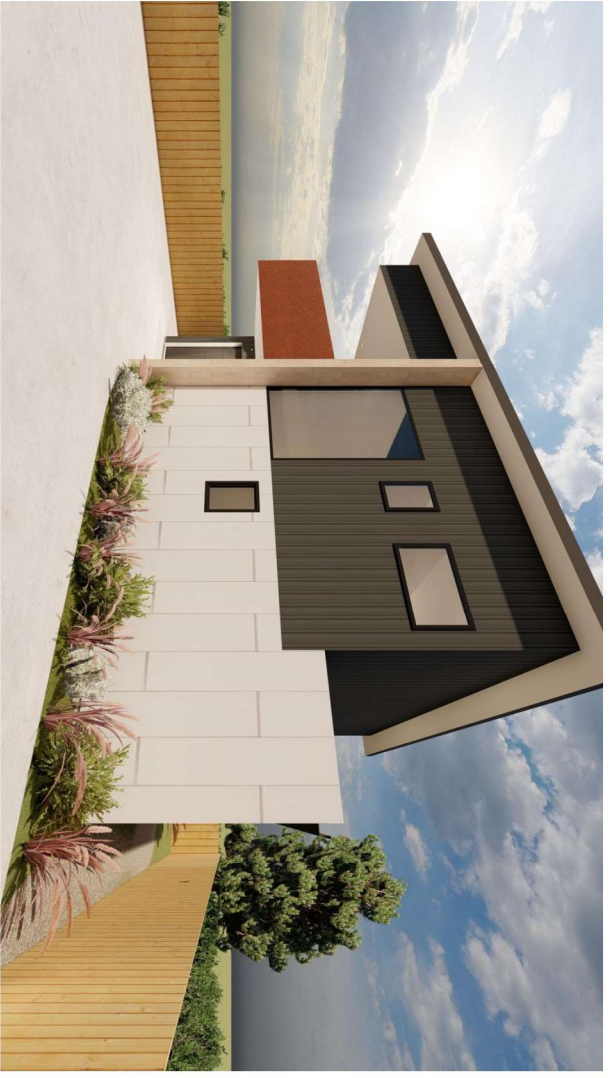
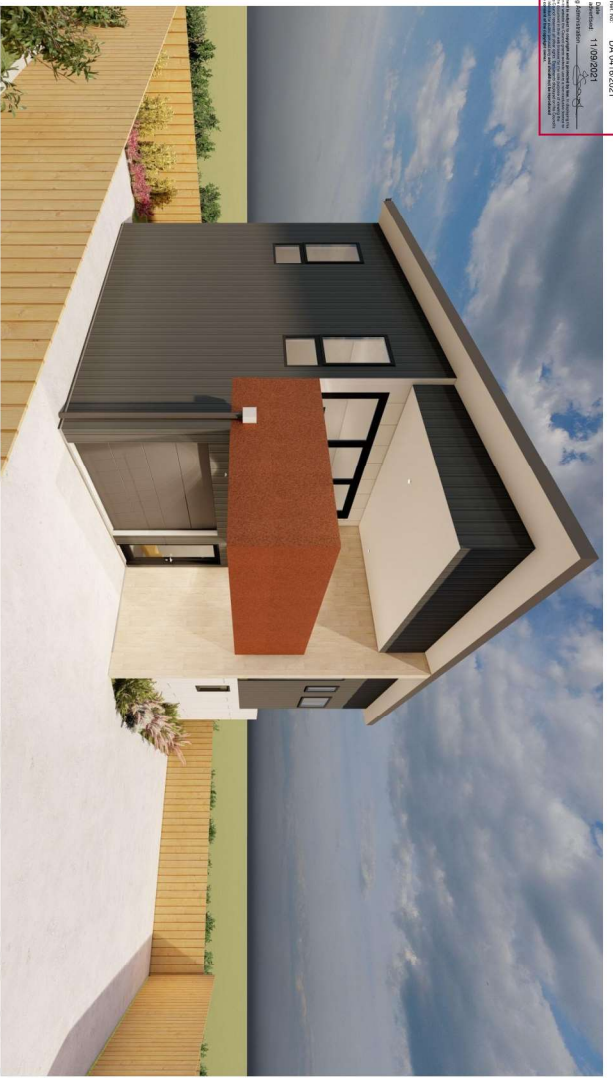
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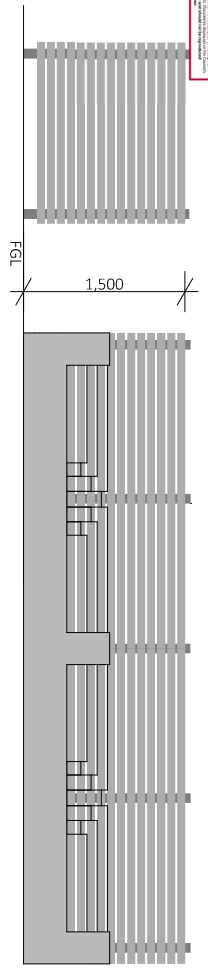
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		7/17
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AREA RELIES ON PERFORMANCE CRITERIA  
 PERMISSABLE AREA OUTSIDE BUILDING ENVELOPE

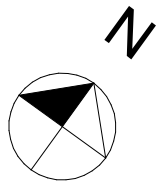
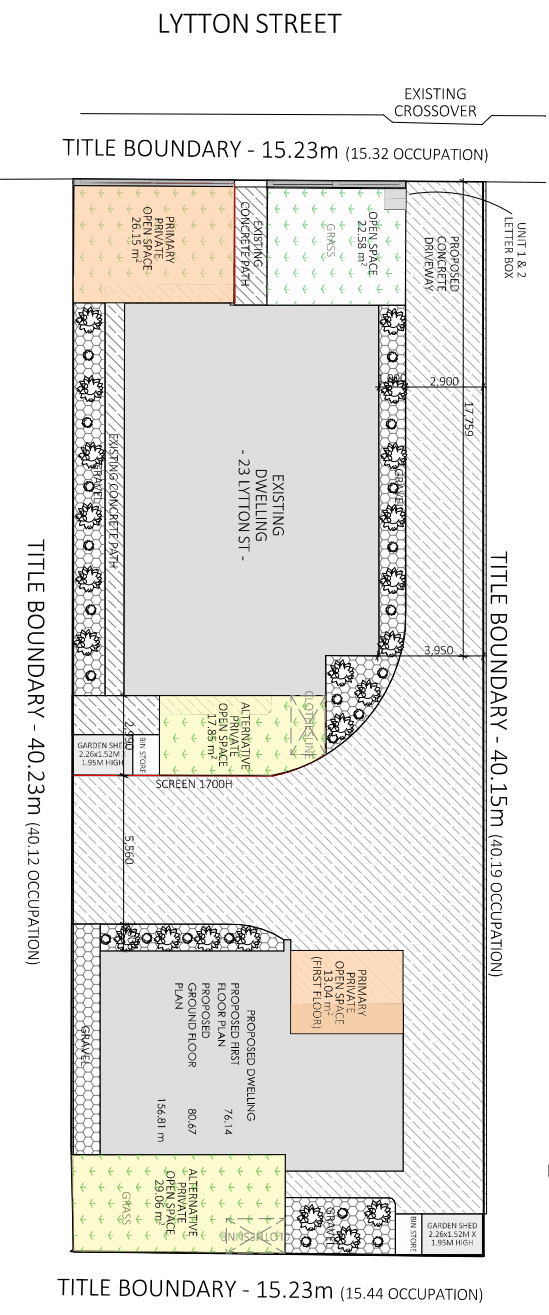


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										<b>NTS</b>																		





**PRIVACY SCREEN ELEVATIONS**  
 INDICATIVE SCREEN DESIGN - NTS  
 TO PRIVATE OPEN SPACE AREAS  
 1500 HIGH WITH 25% TRANSPARENCY ABOVE 1000 HIGH



KEY	
	WESTRINGIA MUNDI MAX MATURE HEIGHT 0.5m
	LITTLE JOHN "MELALEUCA CALUSTEIVOR" MAX MATURE HEIGHT 1m

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 ACC # 371799313  
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**DRAWING**  
 LANDSCAPE  
 PLAN

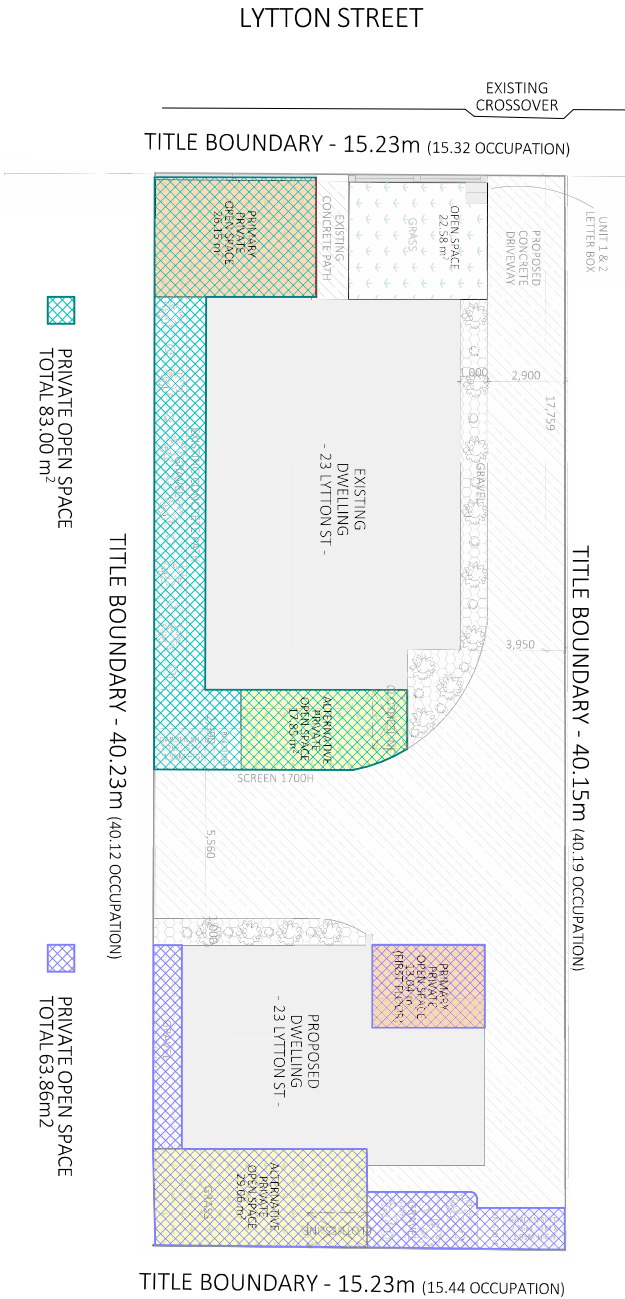
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<b>CHECKED</b>	M.L.	9/17
		1:200



PRIVATE OPEN SPACE  
TOTAL 83.00 m<sup>2</sup>

PRIVATE OPEN SPACE  
TOTAL 63.86m<sup>2</sup>

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**DRAWING**  
 PRIVATE OPEN  
 SPACE PLAN

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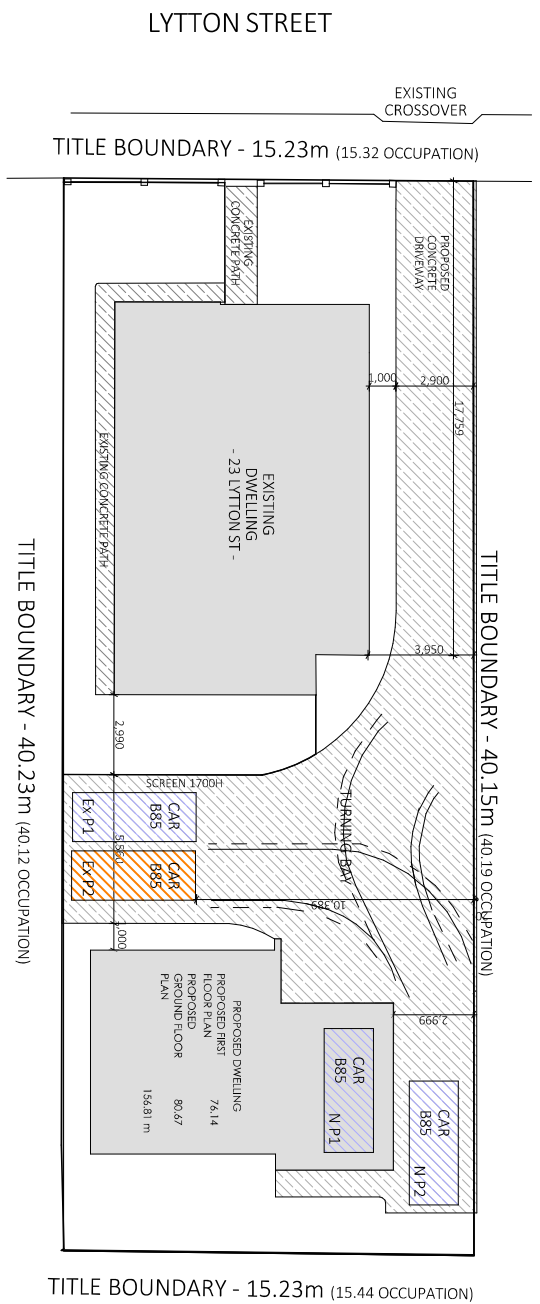
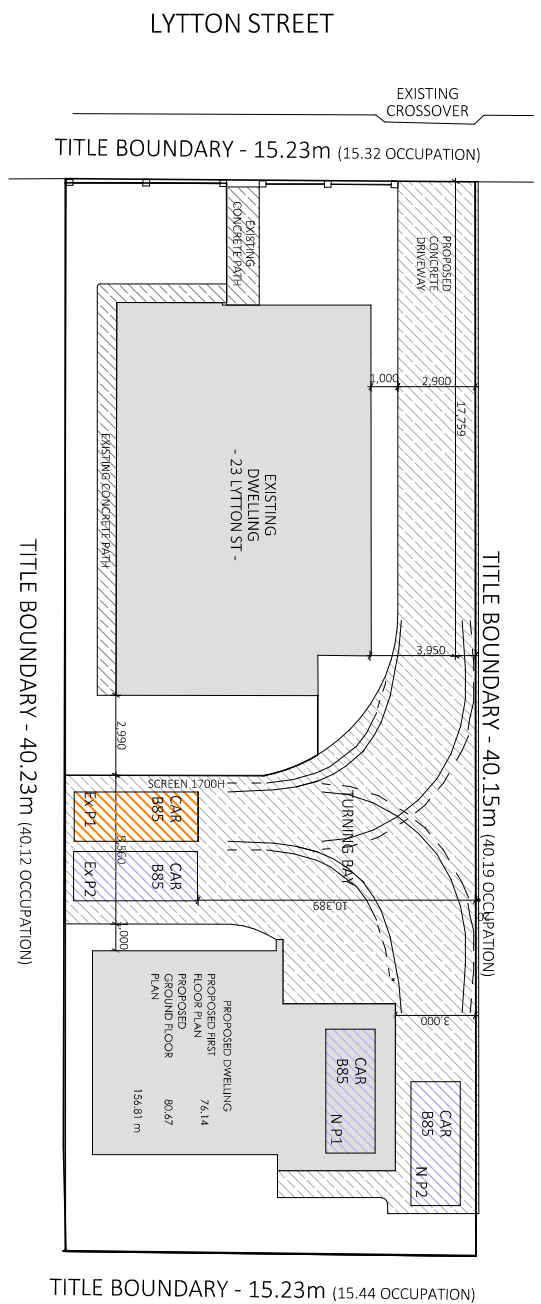
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CHECKED	M.L.	SCALE (@A3)
		LYTT23
		10/17
		1:200



EXISTING DWELLING  
 2 x PARKS - FORWARD EXIT

**DESIGN**  
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**DRAWING**  
 PARKING AND  
 TURNING 1

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**DRAWING**  
**PARKING AND TURNING 2**

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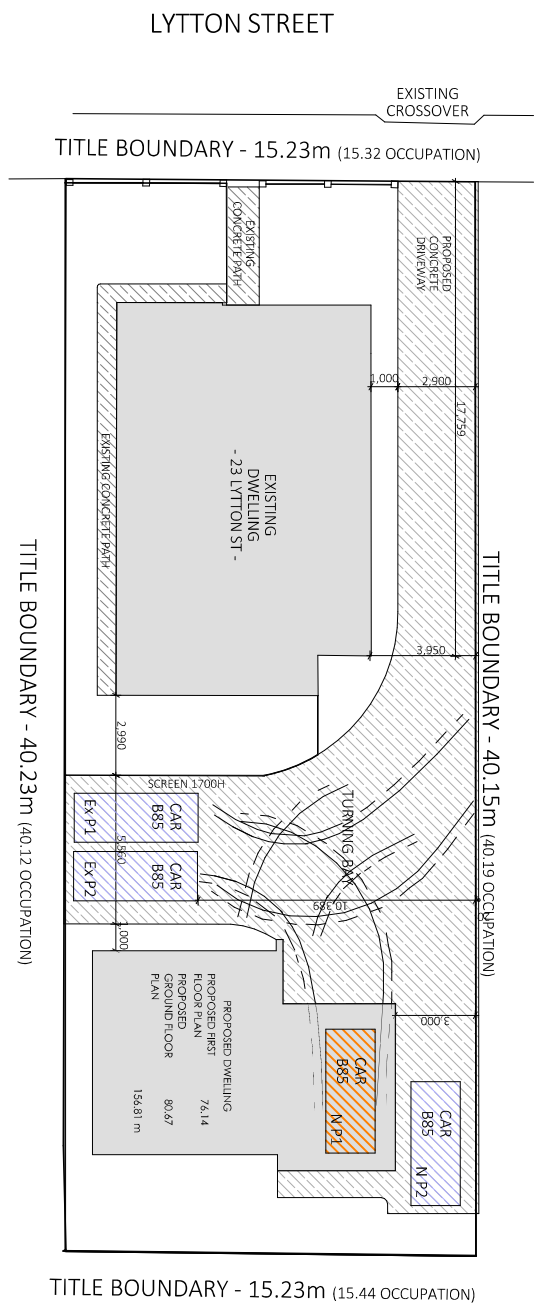
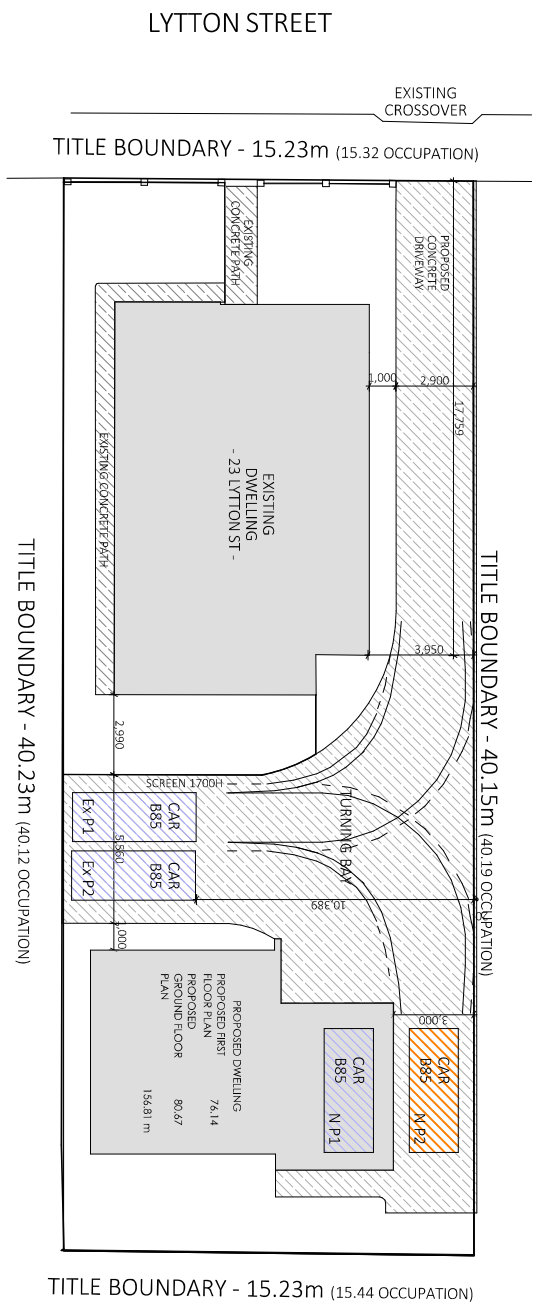
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**NEW DWELLING**  
 2 x PARKS - FORWARD EXIT



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**DRAWING**  
 STRATA PLAN

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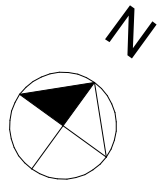
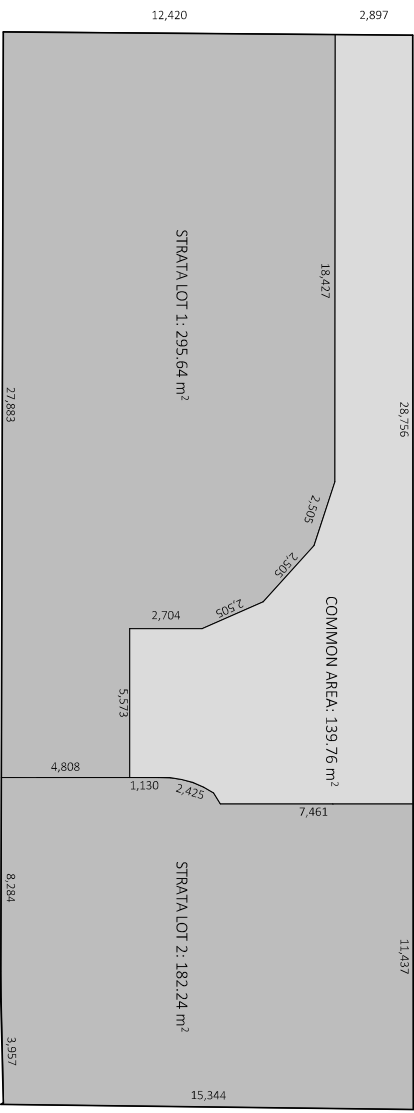
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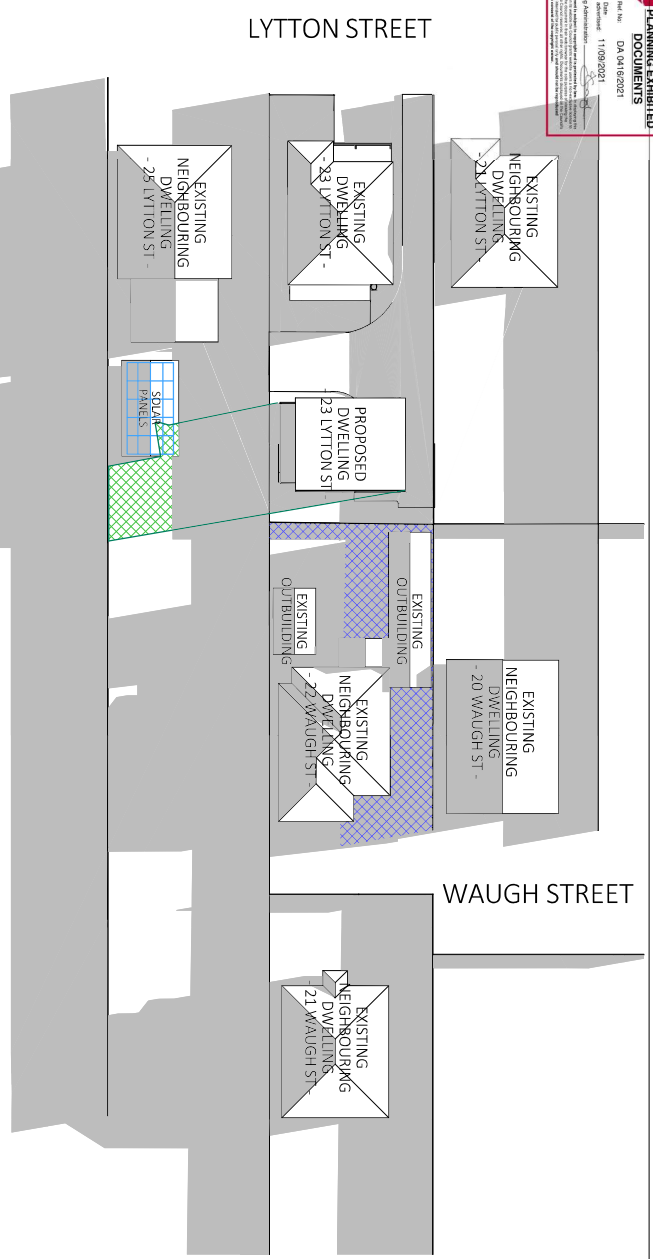
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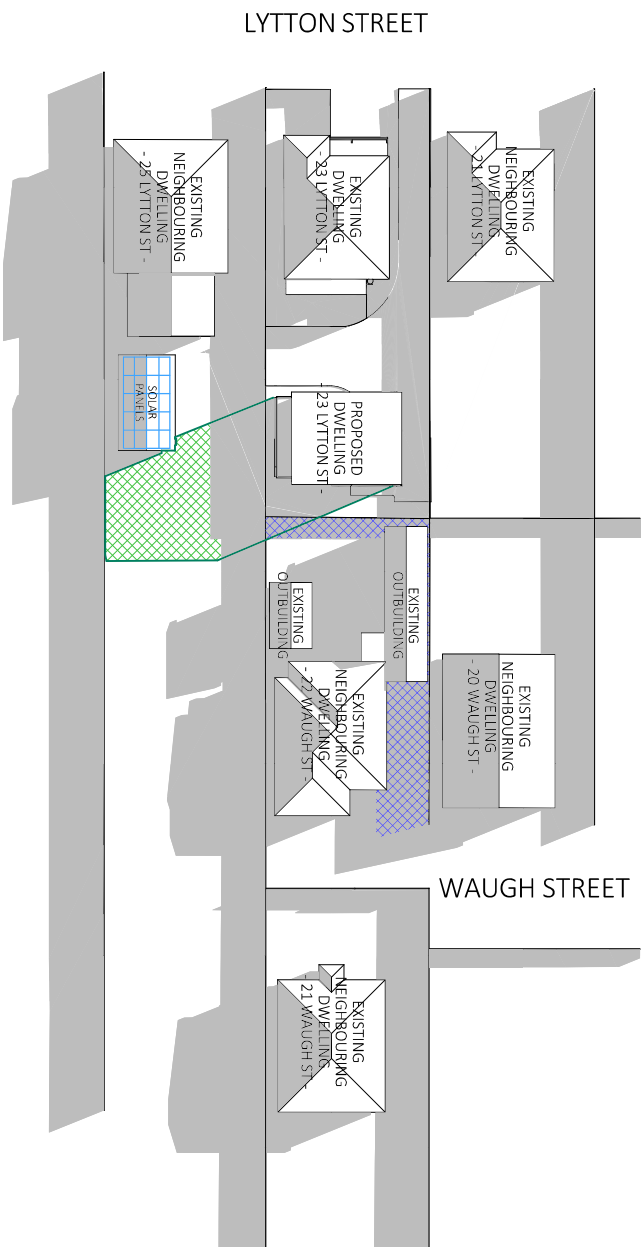
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R2	02/09/2021	FOR DA

DESIGNER	M.L.	JOB NUMBER
<b>DRAWN</b>	C.O.	<b>13/17</b>
CHECKED	M.L.	SCALE (@A3)
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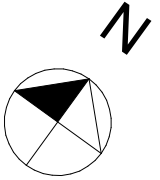


21 JUNE - 9AM



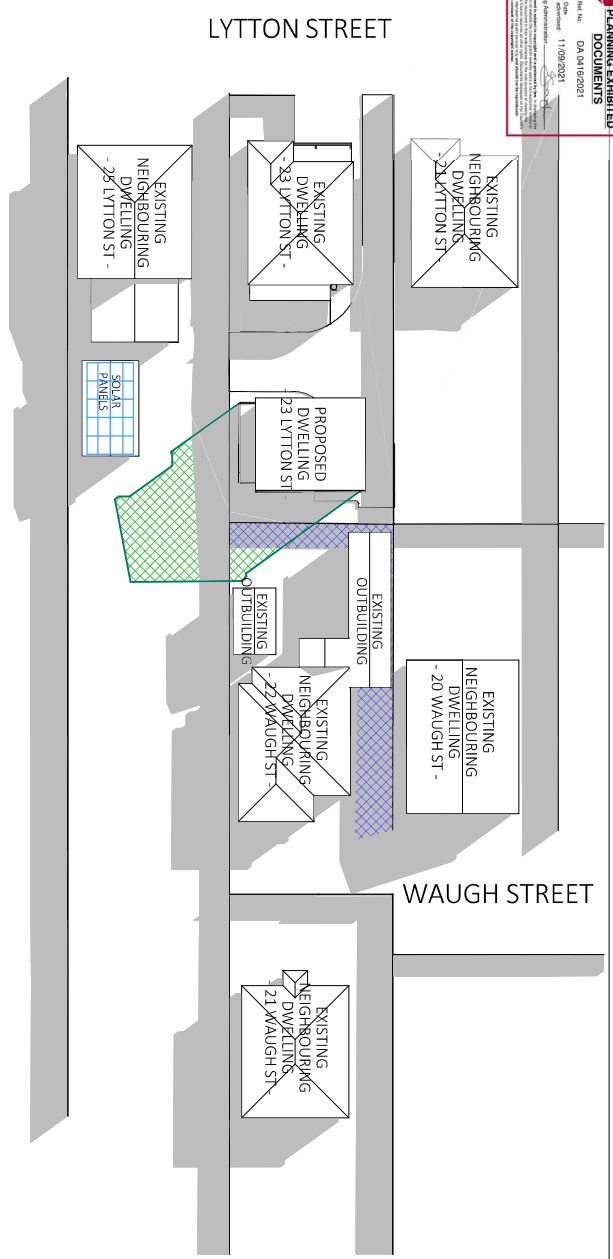
21 JUNE - 10AM

-  NEW SHADOW AREA FROM PROPOSED NEW DEVELOPMENT
-  NEW SHADOW AREA RELIES ON PERFORMANCE CRITERIA
-  EXISTING BOUNDARY FENCES SHADOW AT 22 WAUGH ST






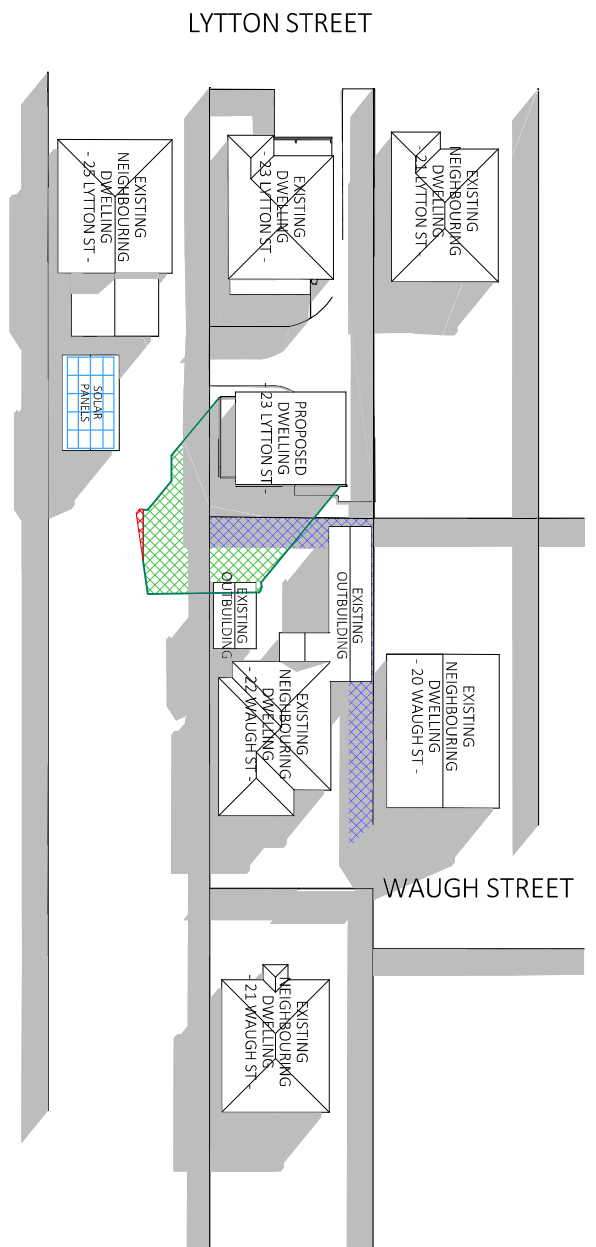
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R1	28/7/2021	FOR DA
R2	02/09/2021	FOR DA

DESIGNER	M.L.	JOB NUMBER	LYTT23
DRAWN	C.O.	DRAWING	14/17
CHECKED	M.L.	SCALE (@A3)	1:500

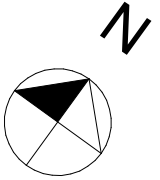


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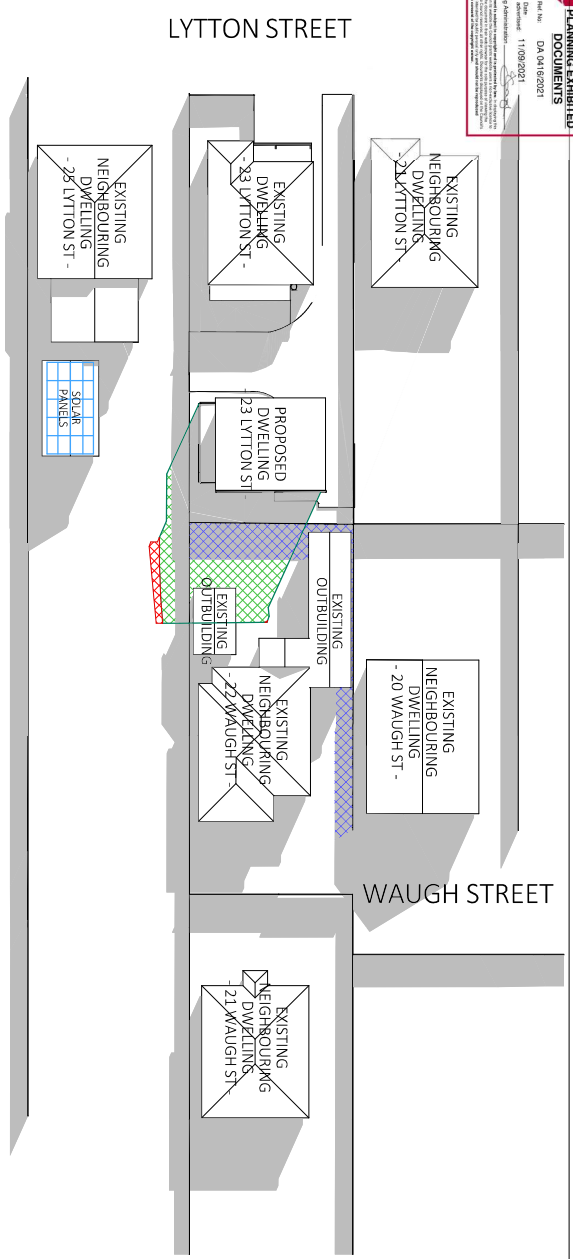
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-  NEW SHADOW AREA RELIES ON PERFORMANCE CRITERIA
-  EXISTING BOUNDARY FENCES SHADOW AT 22 WAUGH ST



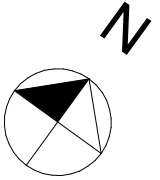
21 JUNE - NOON






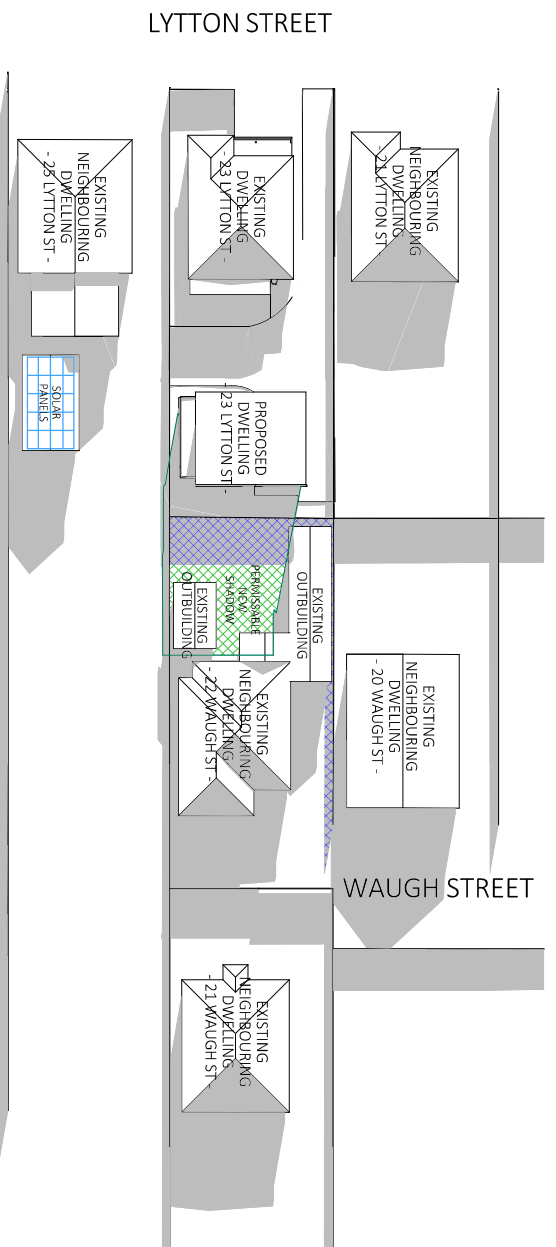
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R1	28/7/2021	FOR DA	<b>DRAWN</b>	C.O.	LYTT23
R2	02/09/2021	FOR DA	<b>CHECKED</b>	M.L.	15/17
					SCALE (@A3)
					1:500



21 JUNE - 1PM



-  NEW SHADOW AREA FROM PROPOSED NEW DEVELOPMENT
-  NEW SHADOW AREA RELIES ON PERFORMANCE CRITERIA
-  EXISTING BOUNDARY FENCES SHADOW AT 22 WAUGH ST



21 JUNE - 2PM

**CLIENT/S:**  
 M/T PROPERTY (TAS) PTY LTD  
**SITE ADDRESS:**  
 23 LYTTON ST  
 INVERMAY, 7248.

**DRAWING**  
 SUN STUDIES 3

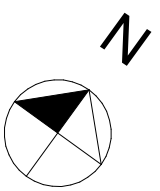
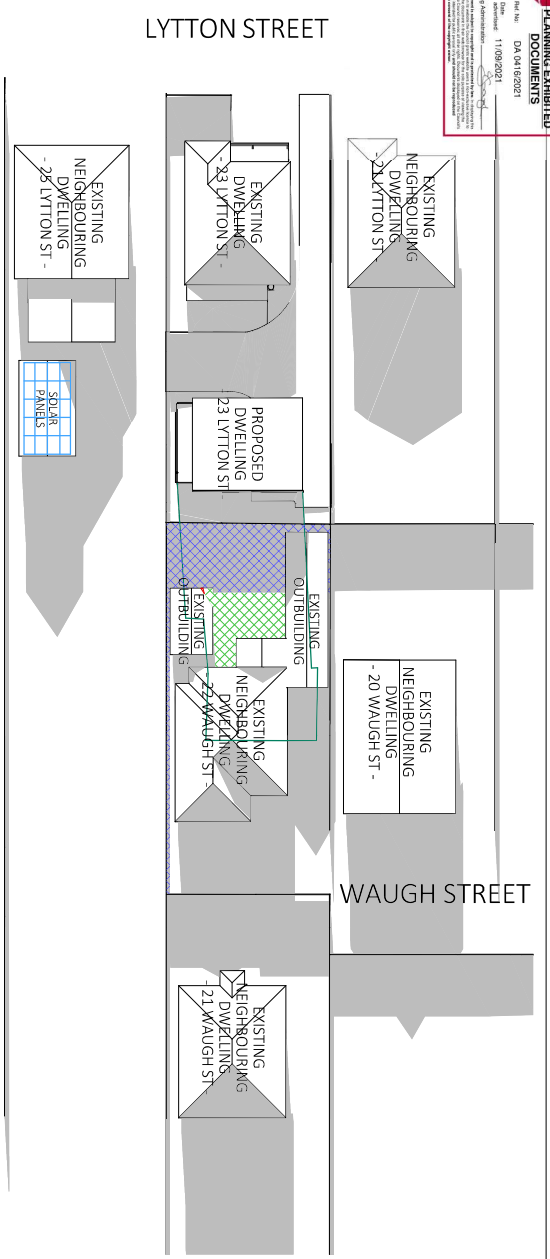
I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.  
**SIGNATURE:**  
**DATE:**  
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**DATE:**




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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER
R1	28/7/2021	FOR DA			LYTT23
R2	02/09/2021	FOR DA			16/17

**CHECKED** M.L. **SCALE (@A3)** 1:500





-  NEW SHADOW AREA FROM PROPOSED NEW DEVELOPMENT
-  NEW SHADOW AREA RELIES ON PERFORMANCE CRITERIA
-  EXISTING BOUNDARY FENCES SHADOW AT 22 WAUGH ST

<b>CLIENT/S:</b> M/T PROPERTY (TAS) PTY LTD <b>SITE ADDRESS:</b> 23 LYTTON ST INVERMAY, 7248.		<b>DRAWING</b> SUN STUDIES 4		I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.		<b>COPYRIGHT:</b> This is the sole property of Design To Live, and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	
<b>ACC #</b> 371799313 <b>ABN</b> 71 615 812 747 <b>PH</b> 6344 7319 <b>E</b> info@designolive.com.au <b>W</b> designolive.com.au <b>Document Serial:</b> 4906998		<b>DATE:</b> 28/7/2021		<b>DATE:</b> 02/09/2021		<b>DATE:</b> 02/09/2021	
<b>REV.</b>		<b>DATE</b>		<b>DESCRIPTION</b>		<b>DESIGNER</b>	
R1		28/7/2021		FOR DA		<b>DRAWN</b>	
R2		02/09/2021		FOR DA		<b>CHECKED</b>	
<b>M.L.</b>		<b>M.L.</b>		<b>JOB NUMBER</b>		<b>LYTT23</b>	
<b>C.O.</b>		<b>C.O.</b>		<b>DRAWING</b>		<b>17/17</b>	
<b>SCALE (@A3)</b>		<b>SCALE (@A3)</b>		<b>SCALE (@A3)</b>		<b>1:500</b>	

**Mail:** 202 Wellington Street, South Launceston 7249

2 September 2021

**A.B.N:** 71 615 812 747**Phone:** 6344 7319**Email:** mitch@designtolive.com.au

## Planning Application Cover Letter

**Development:** Proposed Additional Dwelling**Owner:** MT Property (TAS) PTY LTD**Address:** 23 Lytton Street, Invermay 7248**Council:** Launceston City Council**Zone:** General Residential

Please find below further information for the proposed Development at 23 Lytton Street, Invermay 7248.

### 10.4.1 Residential density for multiple dwellings

A1 – Relies on Performance Criteria

P1 – The site area per dwelling is approx. 307m<sup>2</sup> which is outside of the acceptable solution of 325m<sup>2</sup>. The proposed additional dwelling will not exceed the capacity of infrastructure services and as required any services will be modified to suit requirements for multiple dwellings. This has been confirmed by Tas Water as a Submission to Planning Authority Notice has been issued. The multiple dwellings will be compatible with the density of existing developments on established properties in the area, such as existing multiple dwellings located at 5-7 Lytton St. The proposed multiple dwelling is located approximately 270m walking distance (within the acceptable 400m) from a public transport stop, being Bus Stop 6, No. 88 Invermay Road. The proposed multiple dwelling is also located within the acceptable walking distance of Local Business and Commercial Zones.

### 10.4.2 Setback and building envelope for all dwellings

A1 – Not Applicable.

The proposal is behind an existing dwelling and therefore the existing frontage remains unchanged.

A2 – Meets acceptable solution

A3 – Relies on Performance Criteria

P3 – The proposed new dwelling is not entirely contained within the building envelope, thus relies on the performance criteria. The area outside of the building envelope is minimal as shown in the Elevations (see attached documentation LYTT23-6 and LYTT23-7). The shadow cast by the area that is outside of the building envelope remains minimal and does not directly cast over any neighbouring dwellings (see attached documentation LYTT23-14 to LYTT23-17). Therefore it does not cause a reduction in sunlight to habitable rooms of a dwelling on an adjoining property. The overshadow from the permissible area within the building envelope casts a shadow over the North West face of 22 Waugh St after 2pm, still leaving opportunity for natural light to penetrate this face of the dwelling up until then.

The overshadowing caused by the area outside of the envelope, does not cast over the private open space for the neighbouring properties except for the backyard of 25 Lytton St which has a large backyard, rendering the shadow negligible.

The overshadowing from the permissible area within the building envelope casts a shadow on the backyard of 22 Waugh St. Considering this site is overdeveloped and does not itself allow for even 3 hours of unobstructed natural light to the majority of their private open space, it is unreasonable for 22 Waugh St to prevent neighbours from having the right to develop their property within the building envelope.

The siting and scale of the proposed new dwelling takes into account the potential visual impact caused by the scale of the building, when viewed from a neighbouring property. The design has a smaller floor area on the first level, than the ground level creating a step-in affect. The change in materials also breaks up the visual impact, thus reducing the visual presence and bulk from neighbouring dwellings. Neighbouring property 25 Lytton St is also a two-story dwelling with similar visual bulk and greater street front presence.

The siting of the proposed new dwelling has regard to separation between dwellings on adjoining properties and is consistent with existing on established properties in the area. It is not closer to any existing dwelling than any other neighbouring properties are.

There is not an unreasonable reduction in sunlight to the existing solar energy installation on the outhouse of 25 Lytton St, as the overshadowing occurring between 9am and 10am on 21<sup>st</sup> June affects less than 20% of the solar panelled area during this time period. Considering approximately three quarters of the month of June receives partial or complete cloud coverage during this daily time slot, the overshadowing to the solar panels may be considered negligible.

#### 10.4.3 Site coverage and private open space for all dwellings

A1 – Meets acceptable solution

A2 – Relies on Performance Criteria

P2 – The dedicated private open space of the new proposed dwelling relies on the performance criteria as it has a minimal horizontal measurement of less than 4m. The area is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play. It is conveniently located off the living room and is oriented towards the North West to take advantage of the natural light. The alternative nominated private open space is a larger area located to the South of the property. It is also useful for relaxation, gardening, landscaping and children's play. It shall be noted that if there were no bedrooms on this ground level then the private open space would be compliant under the old planning scheme.

The dedicated private open space of the existing dwelling relies on the performance criteria as it is located between the dwelling and the frontage and is orientated more than 30° West of true North. However, the area is greater than 24m<sup>2</sup> and has a horizontal dimension greater than 4m. The area is capable of serving for outdoor relaxation, dining, entertaining and children's play and is located to gain natural light. Fencing around this area provides security and privacy while allowing for passive surveillance of the road. The fence design incorporates the existing fence which is in keeping with the original style of the house and fences of the street. Additional height is added at a reduced transparency to provide increased privacy for the user, while allowing for natural light penetration and passive surveillance of the street (see attached documentation LYTT23-9).

To support this dedicated private open space there is also alternative private open space located to the South of the property. It is conveniently located off the kitchen and living area. Both nominated spaces are connected by a path where gardening and landscaping can also be established.

Site coverage is consistent with that of existing established properties in the area. 23 Lytton St's combined dwellings area have a site coverage of approximately 35% compared to an average of neighbouring properties coverage at approximately 30%. Notably neighbouring property 21 Lytton St has the same sized site and has a site coverage of approximately 30%.

We believe that 35% coverage is not unreasonable when compared to the site coverage of neighbouring property 22 Waugh St, which is at approximately 60%. This site can be considered over developed compared to similar existing established properties in the area.

Due to this over development, 22 Waugh St endures far more overshadowing to their private open space caused by their own built environment, notably an approximately 15m long outbuilding. It is not reasonable for them to have an overdeveloped site, yet prevent a neighbour from having the right to further develop their property, despite their site coverage being compliant and at a similar figure to existing established properties in the area.

Overshadowing that the new proposed development will cast onto 22 Waugh St is from within the permissible building envelope. The area outside of the envelope causing overshadowing does not directly affect 22 Waugh St. Should the design of the new proposed development be revised, overshadowing would remain the same as it is occurring from within the permissible building envelope.

The private open space of the two dwellings on 23 Lytton St is consistent and appropriate in size for the projected requirements of the occupants (refer to attached documentation LYTT23-9). The spaces accommodate recreational activities such as relaxing, dining, entertaining and children's play. They also accommodate the operational needs with specific clothes drying and storage space. There is reasonable space for planting gardens and landscaping in the backyards and in the existing property's front yard. The common space on the site is suitable for driveway use, turning and parking, plus has space for gardening and landscaping.

Regards,  
Claire Ord  
(BEnvDes(Hons))