

MEMBER



Building Designers Association Victoria

Issue	Date	Description	Rev.
04	10.11.20	Amended Planning Application	-
03	30.10.20	Planning Application	-
02	29.10.20	Client Review	-
01	20.10.20	Client Review	-
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Client:
Steven & Danielle Morrison

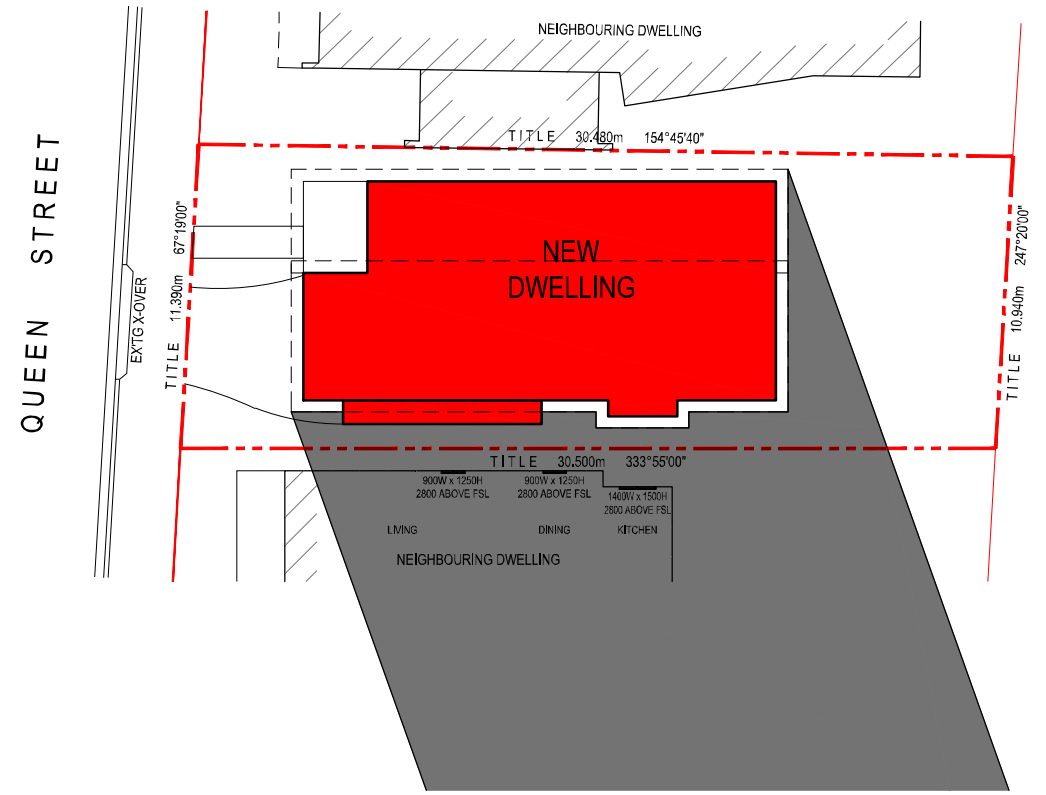
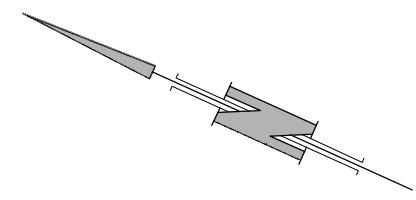
Project:
New Dwelling
15 Queen Street
Invermay TAS 7248



Building Design Drafting & Documentation Services

PO Box 5274
Launceston TAS 7250 admin@tmkdesignsolutions.com.au

Drawing: Site Plan	
Designed: TONY M KEEGAN	Accreditation No: CC5853K
Scale: 1:200	Dwg No: Ad01
Project No: 20.060	



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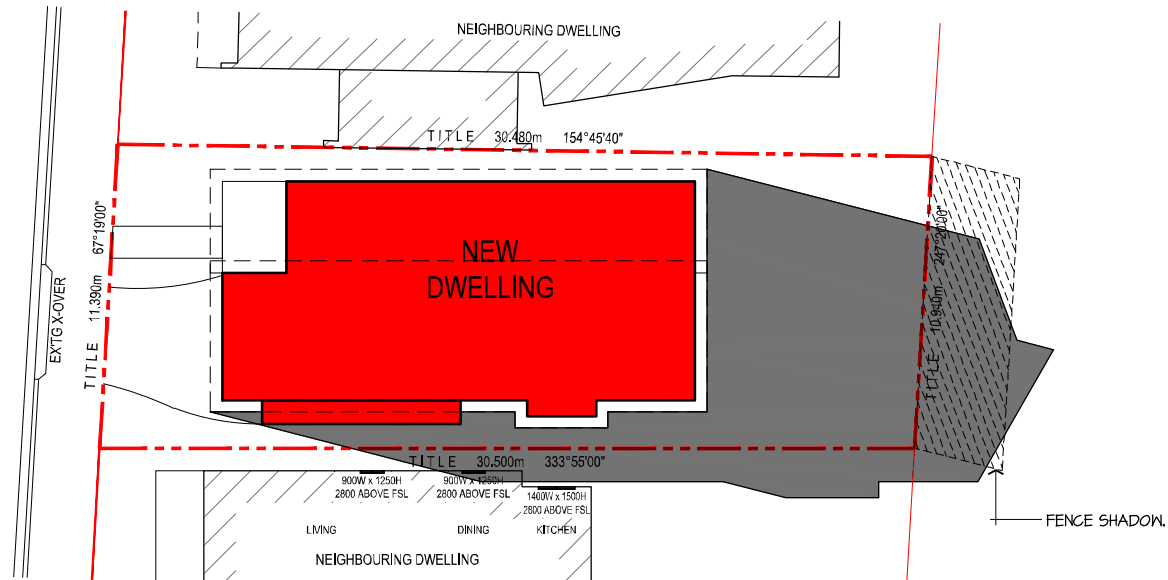


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Drawing : Shadow Diagram - 21 June 9am	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:200	Dwg No : Ad02
Project No : 20.060	

QUEEN STREET



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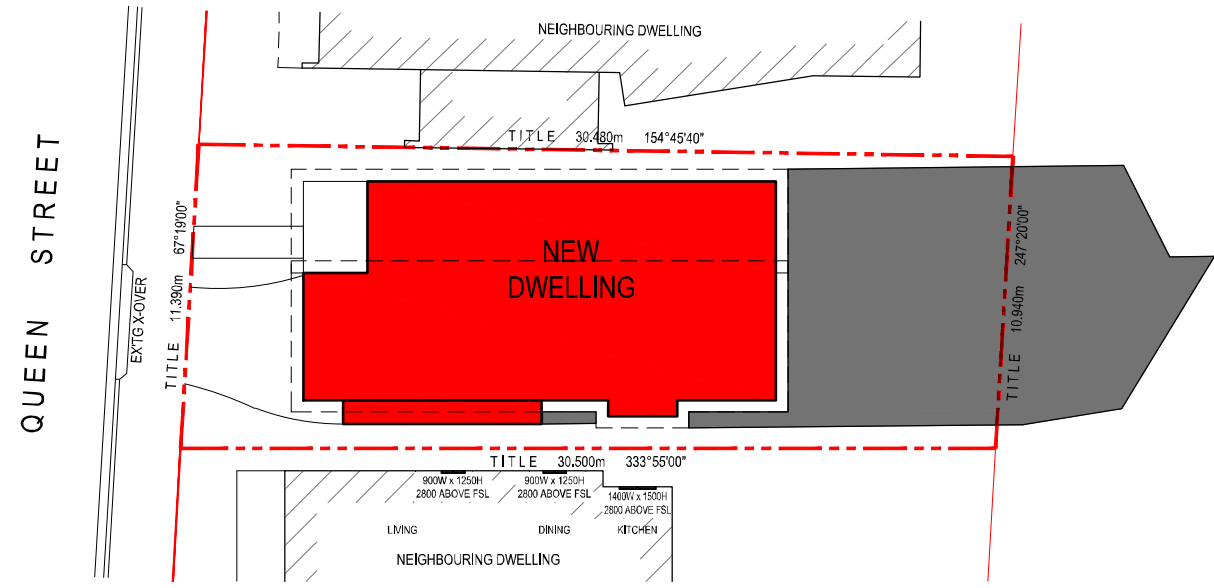
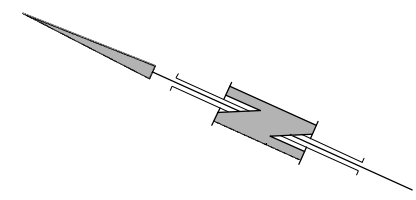
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15 Queen Street
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Drawing : Shadow Diagram - 21 June 1pm	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:200	Dwg No : Ad03
Project No : 20.060	



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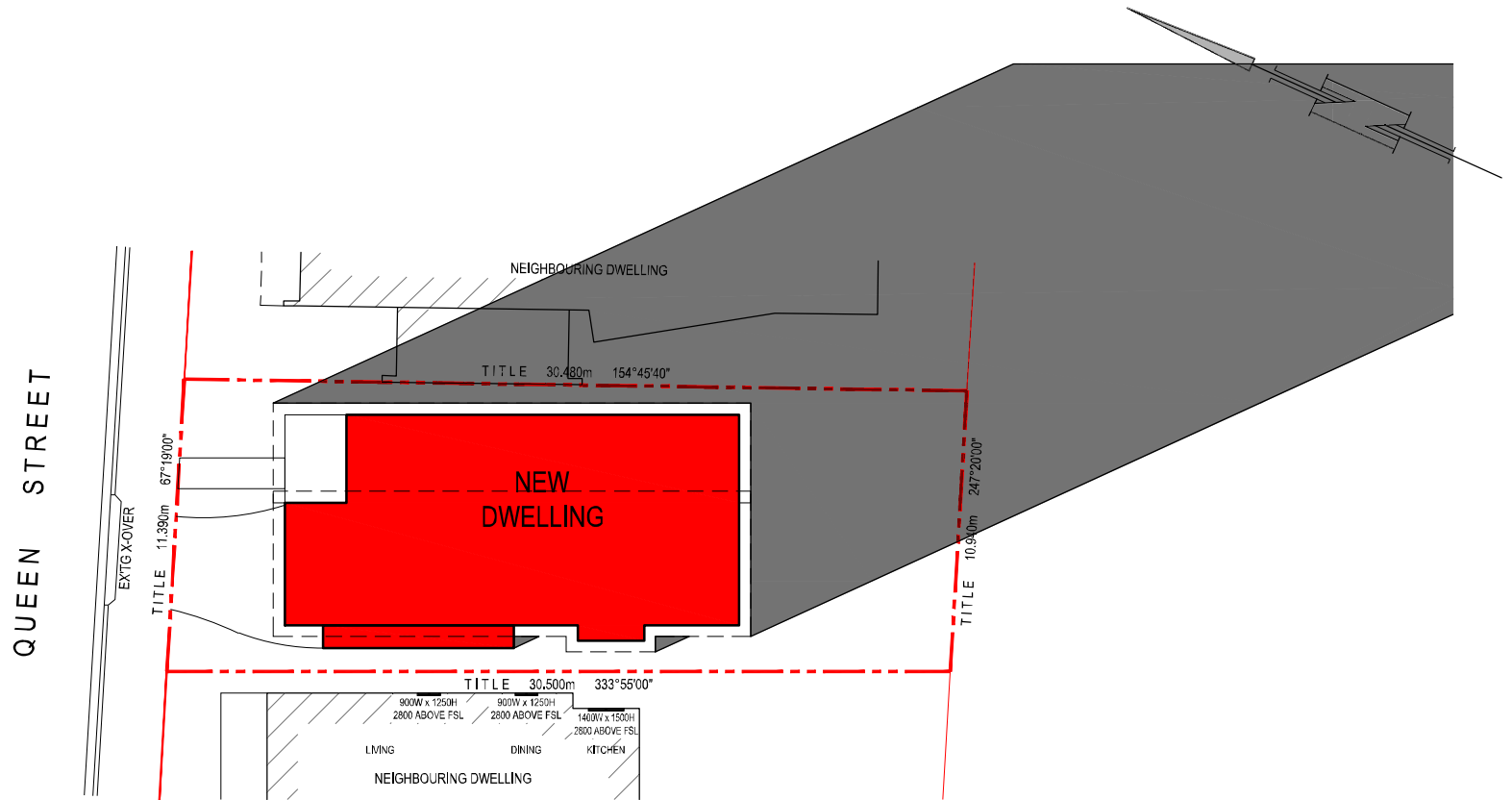
Client :
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Invermay TAS 7248



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Drawing : Shadow Diagram - 21 June 2pm	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:200	Dwg No : Ad04
Project No : 20.060	



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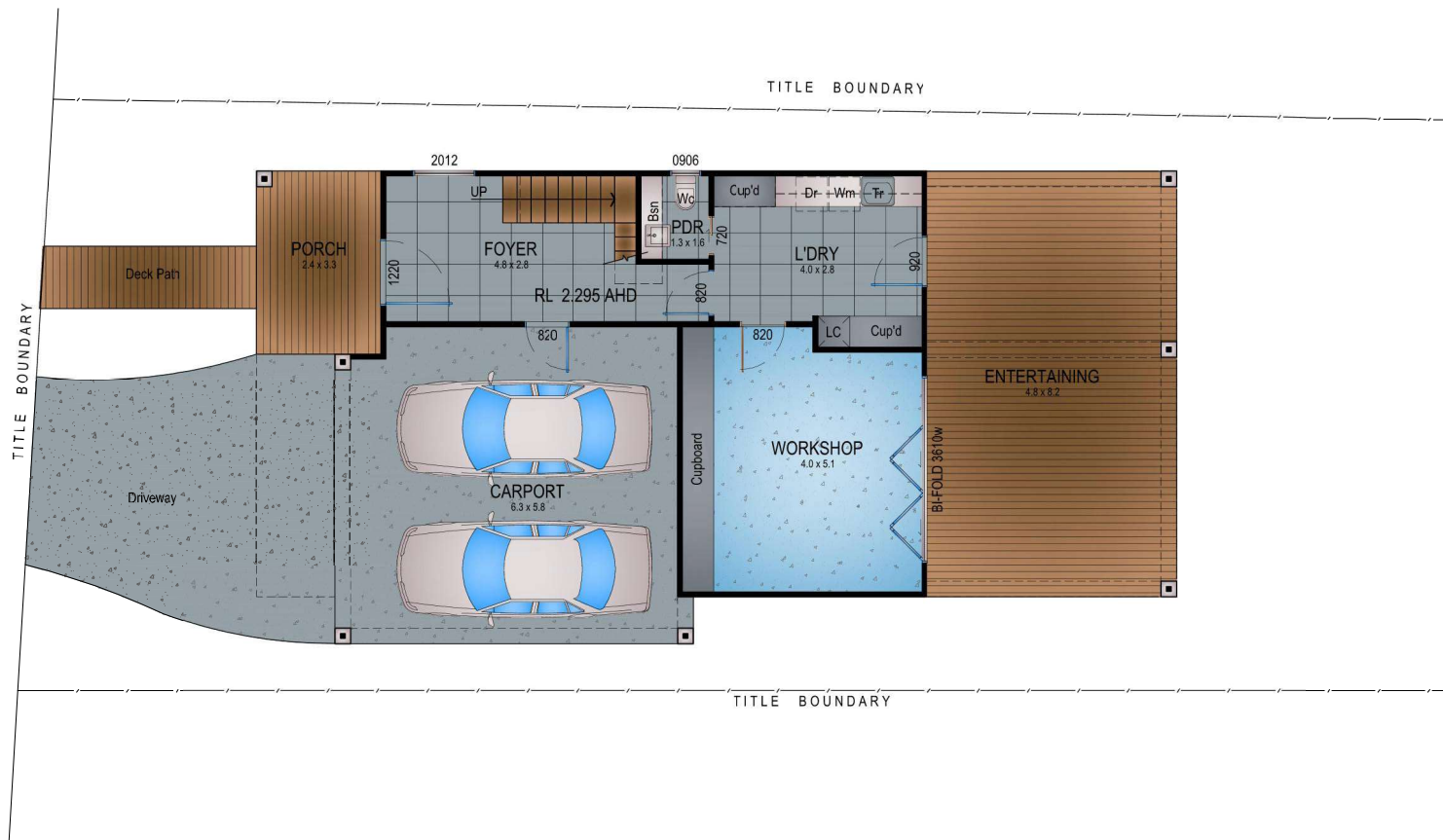
Client :
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Invermay TAS 7248

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Drawing : Shadow Diagram - 21 June 4pm	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:200	Dwg No : Ad05
Project No : 20.060	

Area	
Ground Floor:	56.24sqm (6.05sqs)
Entertaining:	39.39sqm (4.24sqs)
Porch:	7.87sqm (0.85sqs)



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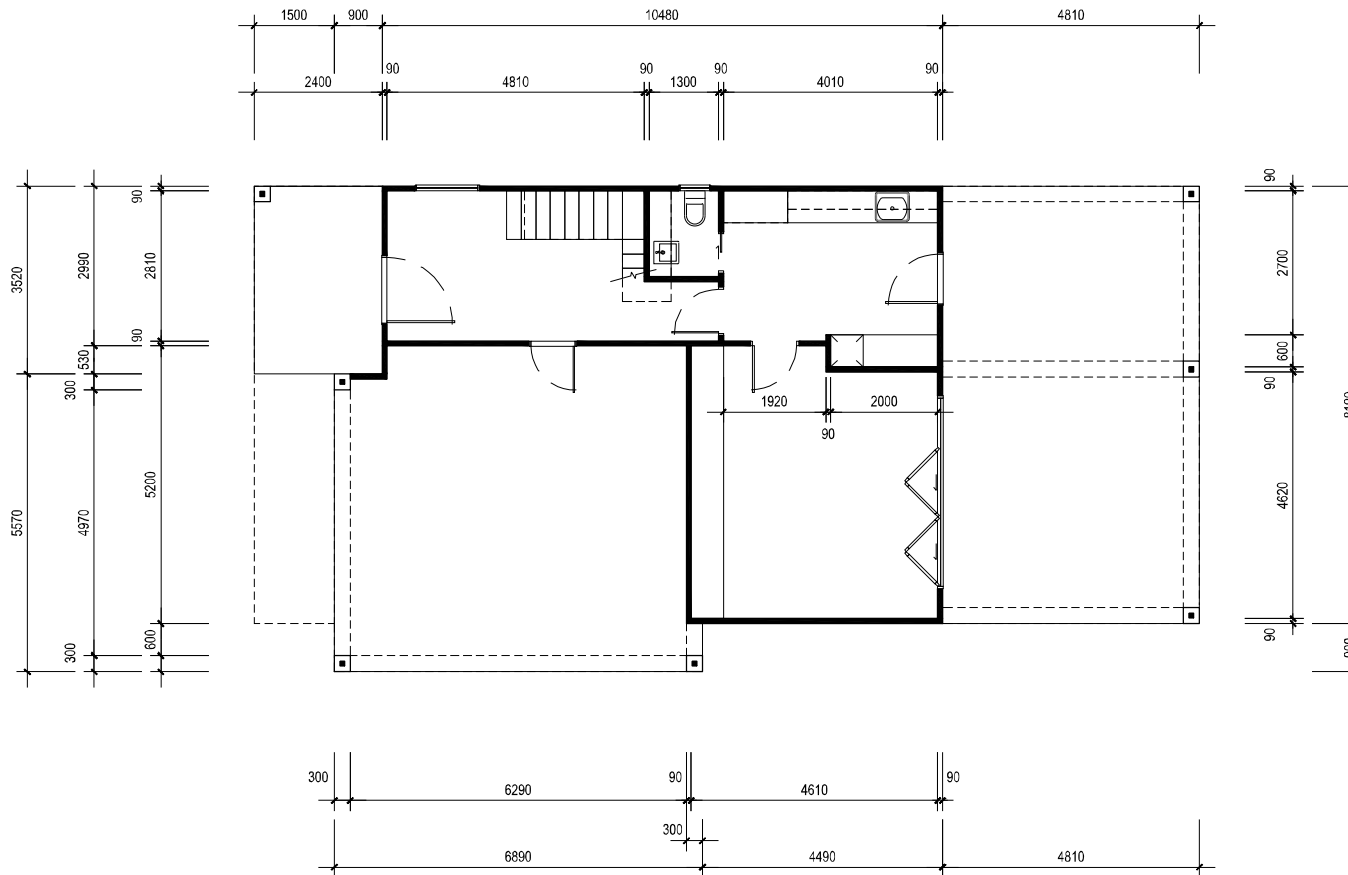
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Invermay TAS 7248



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Drawing : Ground Floor Plan	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:100	Dwg No : Ad06
Project No : 20.060	



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New Dwelling
15 Queen Street
Invermay TAS 7248



Drawing : Ground Floor Dimension Plan	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:100	Dwg No : Ad07
Project No : 20.060	

Area
 First Floor: 138.20sqm (14.88sq)
 Balcony: 8.23sqm (0.89sq)



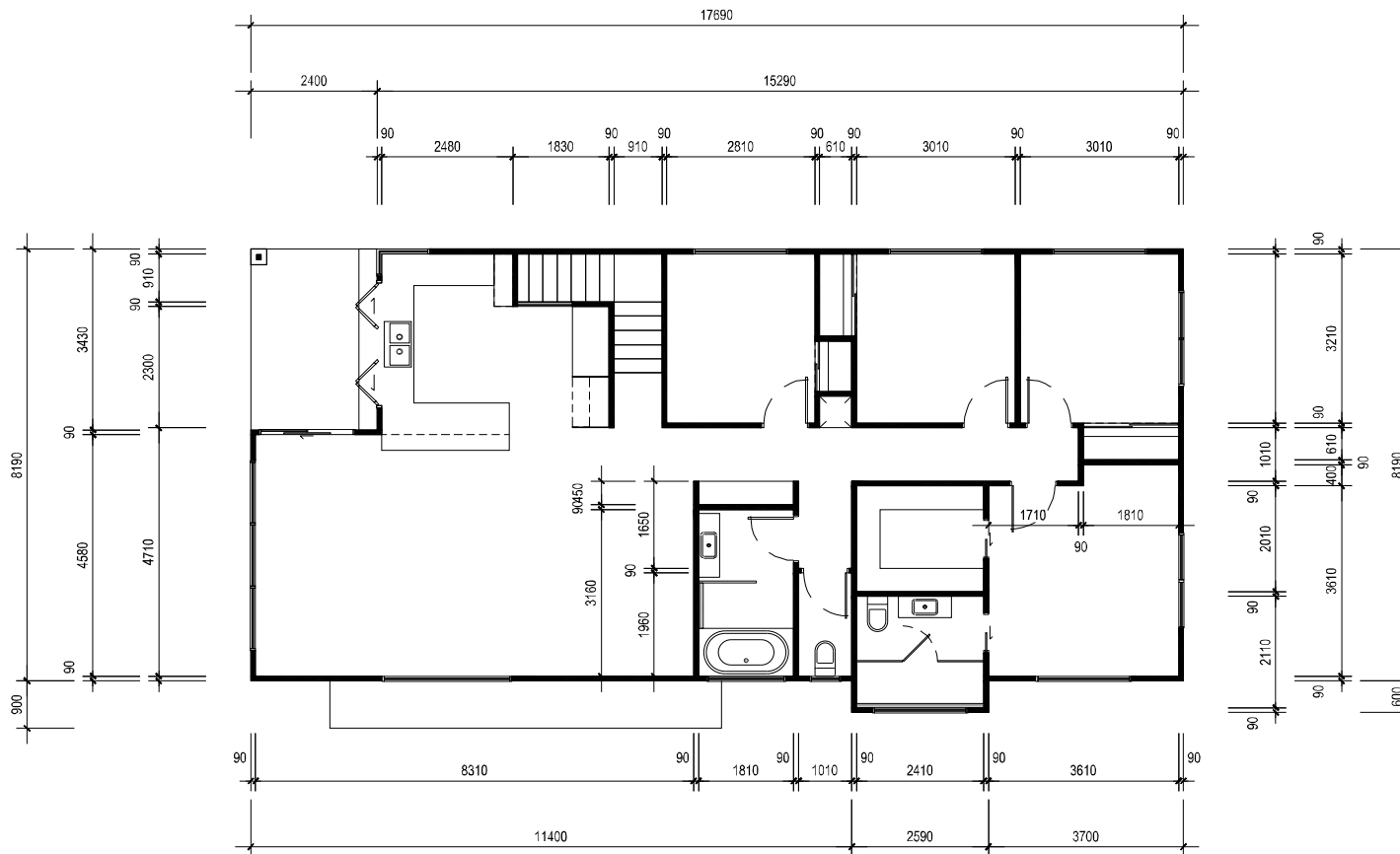
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New Dwelling
15 Queen Street
Invermay TAS 7248



Drawing :	
First Floor Plan	
Designed :	Accreditation No :
TONY M KEEGAN	CC5853K
Scale :	Dwg No :
1:100	Ad08
Project No :	
20.060	



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Drawing :

First Floor Dimension Plan

Designed :
 TONY M KEEGAN

Accreditation No :
 CC5853K

Scale :
 1:100

Dwg No :

Project No :
 20.060

Ad09



North Elevation



West Elevation

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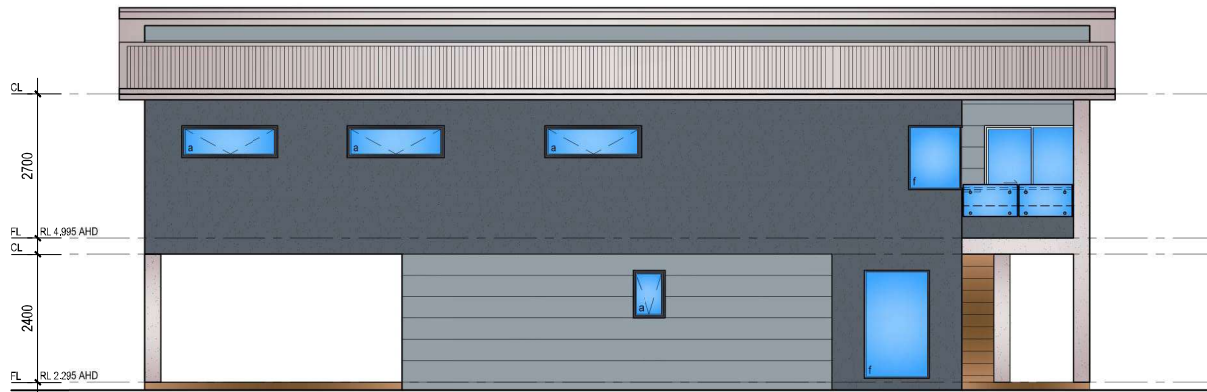
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Drawing : Elevations 1 of 2	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:100	Dwg No : Ad10
Project No : 20.060	



South Elevation



East Elevation



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Drawing : Elevations 2 of 2	
Designed : TONY M KEEGAN	Accreditation No : CC5853K
Scale : 1:100	Dwg No : Ad11
Project No : 20.060	

Steven & Danielle Morrison
New Dwelling
15 Queen Street, Invermay TAS 7248
PID: 6572544 Title Volume 175689 Folio 2

Design Response

- Launceston Council Interim Planning Scheme 2015

Preamble

The following is a design response to the Launceston Council Interim Planning Scheme 2015 addressing the performance criteria relating to a new dwelling at 15 Queen Street, Invermay.

11 Inner Residential Zone

11.4 Development Standards

11.4.3 Building envelope for single dwellings

P1 (a) As illustrated in the shadow diagrams provided, the proposed dwelling does not overshadow the habitable room windows or private open space of No.17 Queen Street by 2pm on the 21st of June and therefore has access more than 3 hours of sunlight between 9am and 5pm on the 21st of June.

13 Queen Street habitable room windows and private open space won't be overshadowed by the proposed dwelling until after 2pm on the 21st of June and therefore has access more than 3 hours of sunlight between 9am and 5pm on the 21st of June.

24 Landale Street private open space has only slightly more shadow than the boundary fence from 1pm on the 21st of June and therefore has no shadowing that causes unreasonable loss of amenity to the private open space prior to 1pm on the 21st of June.

The majority of first floor windows facing both 13 & 17 Queen Street are all either highlight windows or are frosted bathroom and toilet windows and therefore won't cause any unreasonable loss of amenity by overlooking and loss of privacy. The corner kitchen window window that has a small section facing 13 Queen Street isn't adjacent to any private open space or habitable windows and therefore won't cause any unreasonable loss of amenity by overlooking and loss of privacy.

The lot is limited in the possible dwelling design options by the frontage width being less than 11.4 metres and the habitable areas required to be above RL 3.4 AHD and the maximum gross floor area being 200sqm.

As a result the dwelling has been designed to have all the living on the second floor to provide for some non-habitable areas downstairs and still provide some private pen space in the backyard.

The front setback is the same or less than the adjoining lots to protect the residential amenity and minimise the visual impact on the streetscape. The size and bulk is less significantly less than that of