

Council Meeting - Agenda Item 9.9 - Attachment 2
 Plans to be Endorsed - 16 Ross Avenue Invermay - 28 January 2021



- LEGEND
 PAGE 1# COVER PAGE
 PAGE 2# LOCALITY PLAN
 PAGE 3# EXISTING SITE PLAN
 PAGE 4# PROPOSED SITE PLAN
 PAGE 5# LANDSCAPING PLAN
 PAGE 6# SITE PLUMBING PLAN
 PAGE 7# CARPARKING PLAN
 PAGE 8# EXISTING HOUSE FLOOR PLAN
 PAGE 9# LOWER FLOOR PLAN
 PAGE 10# UPPER FLOOR PLAN
 PAGE 11# ELEVATIONS
 PAGE 12# ELEVATIONS

COUNCIL – CITY OF LAUNCESTON
 ZONE – GENERAL RESIDENTIAL
 CODE – INVERMAY FLOOD INUNDATION AREA
 LANDSLIDE BAND – NIL

TITLE REF. = 69050/11

BUSHFIRE-PRONE AREA BAL RATING N/A

CLIMATE ZONE FOR THERMAL DESIGN = 7
 REFER TO ENERGY REPORT BY 2DR

ALPINE AREA – N/A LESS THAN 900m AHD

CORROSION ENVIRONMENT – MODERATE
 OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF BRICKWORK
 CLADDING OR TIMBER FRAMING ON CLAD HOUSES UNLESS
 NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE PRIOR TO
 COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES SHOWN
 THEN THESE MUST BE CONFIRMED ONSITE BY A SURVEYOR
 PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED 'APPROVED'
 PLANS BY BUILDING SURVEYOR AND PERMIT AUTHORITY

AS PER NCC 3.8.7 CONDENSATION MANAGEMENT.
 REFER TO THE GUIDANCE IN THE "GUIDE FOR CONTROL OF CONDENSATION
 AND MOULD IN TASMANIAN HOMES" AND THAT SHOULD BE ADHERED TO
 WHERE POSSIBLE, AND "CONDENSATION IN BUILDINGS TASMANIAN
 DESIGNERS' GUIDE – VERSION 2"

PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248



REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

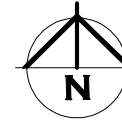
© BRADLEY VAN ZETTEN 2020

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN
 ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY
 OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.




**BRADLEY
 VAN ZETTEN**

4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796



PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date submitted: 28/11/2020
 Planning Administration: *[Signature]*

This document is subject to copyright and is protected by law. In making this document available on the internet, the Council does not intend to make any part of it available for use in any way other than for the purposes of the public display of the document. The Council does not accept any liability for any loss or damage caused by the use of this document. This document should not be reproduced without the consent of the copyright owner.

BRADLEY VAN ZETTEN

DESIGNS
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
 P SMITH AND D EASTHER
 AT 16 ROSS AVENUE
 INVERMAY 7248

DRAWING: LOCALITY PLAN

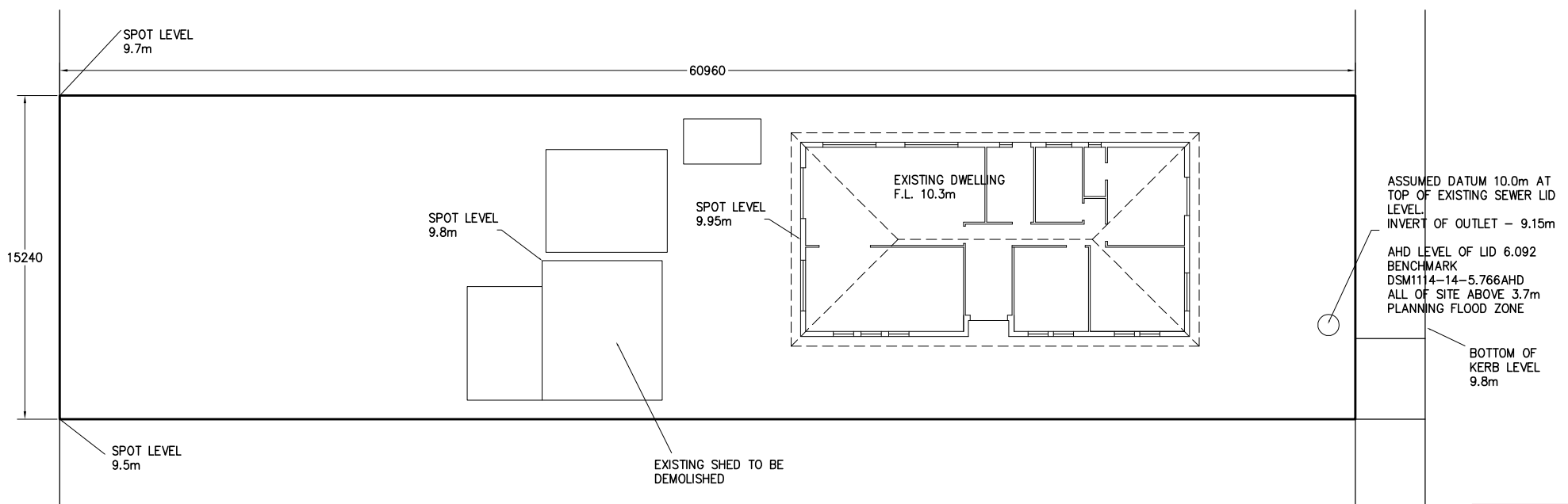
DESIGNED: B. v. Z. APPROVED.
 DRAWN: B. v. Z. DATE: 15 / 10 / 20

SCALE: 1:500. DRAWING No.:
 A3, SMIO820 - 2/12

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

LOCALITY PLAN

© BRADLEY VAN ZETTEN 2020
 THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN
 ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY
 OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



ASSUMED DATUM 10.0m AT TOP OF EXISTING SEWER LID LEVEL.
 INVERT OF OUTLET - 9.15m
 AHD LEVEL OF LID 6.092 BENCHMARK
 DSM1114-14-5.766AHD
 ALL OF SITE ABOVE 3.7m PLANNING FLOOD ZONE
 BOTTOM OF KERB LEVEL 9.8m

EXISTING SITE PLAN

SITE IS NEAR LEVEL WITH SPOT LEVELS SHOWN.

PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date submitted: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In circulating this document on the internet the copyright owner will take all reasonable steps to ensure the document is not used for any purpose other than that for which it was prepared. The Council reserves all other rights. Documents prepared on the Council's behalf are the property of the Council. This right should not be reproduced without the consent of the copyright owner.

BRADLEY VAN ZETTEN
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248

DRAWING: EXISTING SITE PLAN

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

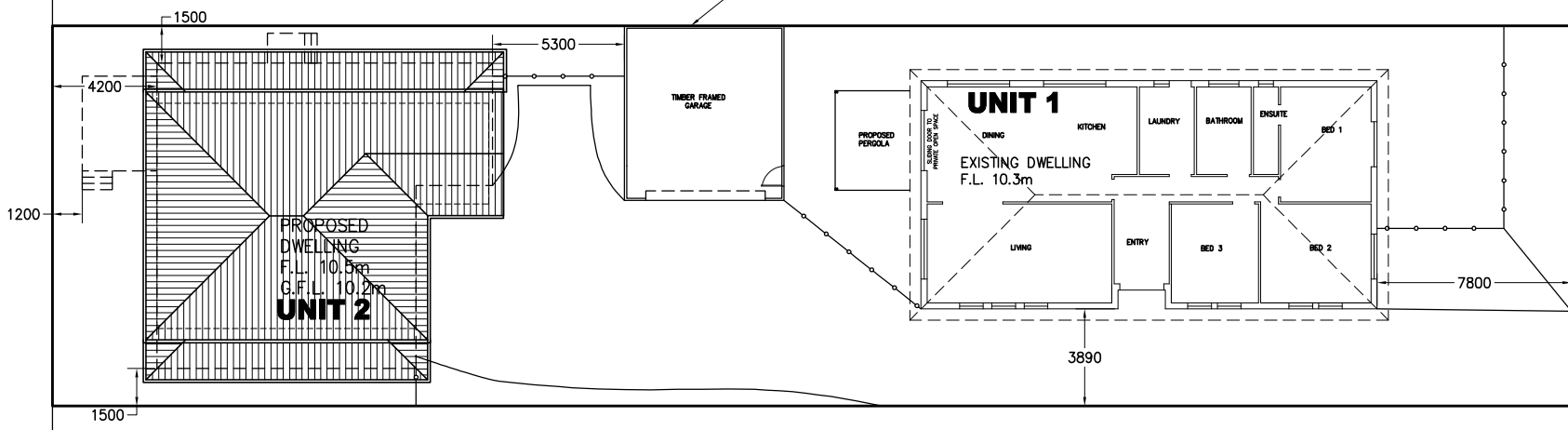
DESIGNED: B. v. Z. APPROVED. DATE: 15 / 10 / 20
 DRAWN: B. v. Z.

SCALE: 1:200. DRAWING No.: A3, SMI0820 - 3/12

© BRADLEY VAN ZETTEN 2020
 THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



SHED TO BE CONSTRUCTED AS CLOSE AS PRACTICAL TO THE BOUNDARY. BUILDER TO ENSURE ALL GUTTERS, FLASHINGS AND DOWNPIPES TO BE LOCATED WITHIN THE TITLE BOUNDARY



PROPOSED SITE PLAN

SITE AREA = 929 sq/m
 PLANNING APPROVAL
 SITE COVERAGE
 EXCLUDING EAVES = 368 sq/m
 SEALED GROUND AREA = 290 sq/m
 AREA FREE FROM IMPERVIOUS SURFACES = 271 sq/m 29%

PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date addressed: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In making this document available on the internet, the Council does not intend to make any part of it available to the public for any purpose other than to provide the Council's services and to inform the public. Any reproduction or use of this document without the consent of the copyright owner is prohibited.

FALL PREVENTION
 WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A STRUCTURE DURING CONSTRUCTION, CLEANING OR MAINTENANCE WORK THE BUILDER SHALL PROVIDE:
 (A) A WORK SYSTEM DESIGNED TO PREVENT SUCH A FALL
 (B) WHERE SAFETY BELT ANCHORAGE POINTS ARE USED THEY MUST BE POSITIONED SUCH THAT THE SAFETY LINE CAN BE ATTACHED BEFORE PROCEEDING TO THE AREA WHERE A FALL IS POSSIBLE
 (C) ANCHORAGE POINTS MUST COMPLY WITH AS2626 AND BE ABLE TO WITHSTAND A FORCE OF 1500KG
 (D) INFORM THE OWNER PRIOR TO OCCUPANCY THE NATURE OF THE FALL ARREST SYSTEM AND USE ACCORDING TO AS2626.

UNPROTECTED EMBANKMENTS 3.1.1.1



SOIL TYPE	EMBANKMENT SLOPES H:L	
	COMPACTED FILL	CUT
STABLE ROCK	2:3	8:1
SAND	1:2	1:2
SILT	1:4	1:4
CLAY	FIRM CLAY	1:2
	SOFT CLAY	NOT SUITABLE
SOFT SOILS	NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

SOIL AND WATER MANAGEMENT:
 DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED
 INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION
 EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL
 CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET ONLY, TO PREVENT TRANSFERRING DEBRIS ONTO STREET

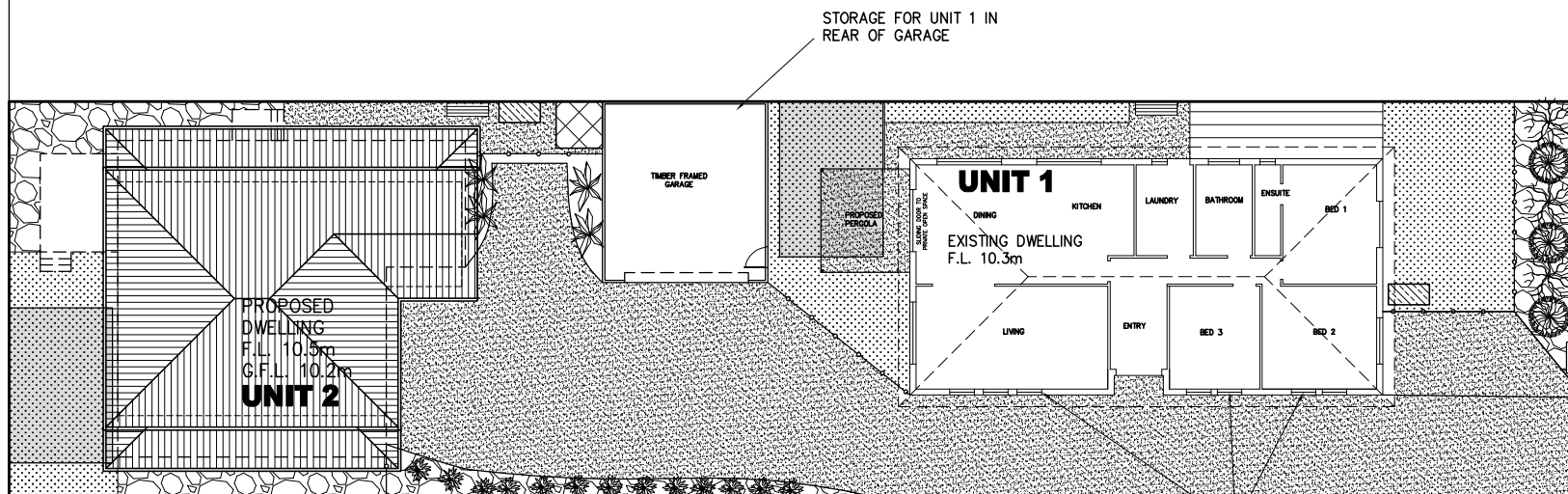
REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

BRADLEY VAN ZETTEN
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248
 DRAWING: PROPOSED SITE PLAN

DESIGNED: B. v. Z.
 DRAWN: B. v. Z.
 APPROVED.
 DATE: 15 / 10 / 20

SCALE: 1:200.
 DRAWING No.: SMI0820 - 4/12
 A3.

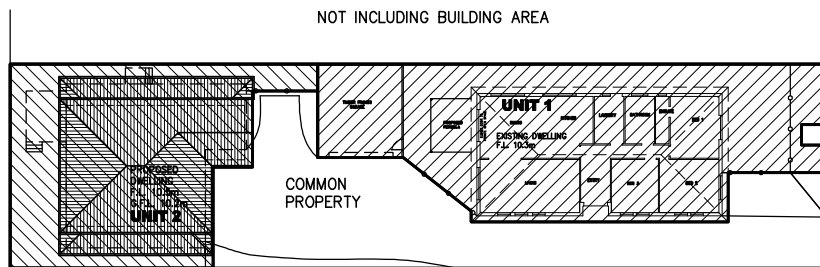


LANDSCAPING PLAN

PRIVATE YARD AREA UNIT 1 = 132 sq/m
PRIVATE YARD AREA UNIT 2 = 108 sq/m

NOT INCLUDING BUILDING AREA

WINDOWS ALONG DRIVEWAY
GLAZING TO HAVE OPAQUE FILM
INSTALLED OVER EXISTING GLASS



UNIT 1 STRATA TITLE

UNIT 2 STRATA TITLE

STRATA PLAN 1:400

1800mm HIGH LAPPED
PAILING FENCE OR SOLID
COLORBOND FENCE

CLOTHES LINE

1.8x1.8x2.0H GARDEN SHED

WHEELIE BIN STORAGE

LETTERBOX

PAVED OR SIMILAR PATH TO BE
PROVIDED FROM DWELLING TO
CLOTHES LINE

SIR WALTER BUFFALO OR
SIMILAR GRASS

15mm-20mm 'NO FINES'
DECORATIVE STONE OR MULCH
TO ALL GARDEN BEDS.

SEALED DRIVEWAY TO FALL
TO PITS

PRIVATE OPEN SPACE
6x4m

EURYOPS PECTINATUS
GOLDEN DAISY BUSH
MATURE HEIGHT APPROX. 1.5m

BUXUS SEMPERVIRENS
SUFFRUTICOSA
(DUTCH BOX)
MATURE HEIGHT APPROX. 1.0m
 SEDUM SPECTABILE
ICE PLANT
MATURE HEIGHT APPROX. 0.7m

DIANELLA TASMANICA
(TASMANIAN FLAX LILY)
MATURE HEIGHT APPROX. 1.0m

PLANS SHOWN INDICATE TYPE AND HEIGHT
TO BE PLANTED SIMILAR VARIATIONS MAY
BE INSTALLED AT TIME OF PLANING

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0640/2020
Date submitted: 28/11/2020
Planning Administrator:

This document is subject to copyright and is protected by law. In circulating this document on the internet the copyright owner will take steps to make sure that it is not used in any way that would be contrary to the public interest or that would be likely to cause the Council to exercise all or any of its powers conferred on it by the Council Act 1993, without the consent of the copyright owner.



**BRADLEY
VAN ZETTEN**

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
P SMITH AND D EASTHER
AT 16 ROSS AVENUE
INVERMAY 7248

DRAWING: LANDSCAPING PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 15 / 10 / 20

SCALE: 1:200.

DRAWING No.:
A3, SMI0820 - 5/12

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

© BRADLEY VAN ZETTEN 2020

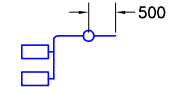
THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



UPGRADE EXISTING DN25 (ID20mm) WATER PROPERTY CONNECTION TO NEW DN32 (ID25) HDPE (PE100B) PN16 CONNECTION AND INSTALL NEW 2/ID20 WATER METERS ON A MANIFOLD. ALL BY TAS WATER AT DEVELOPERS COST.

INSTALLED AS PER TWS-W-0002 SHEET 9

METERS AND GATE VALVE TO BE LOCATED WITHIN COMMON SPACE



"S" BEND INSTALLED TO CREATE GAS TRAP IMMEDIATE UPSTREAM OF COMBINED SEWERAGE CONNECTION INSTALLED ON STORMWATER LINE.

ASSUMED DATUM 10.0m AT TOP OF EXISTING SEWER LID LEVEL. INVERT OF OUTLET - 9.15m

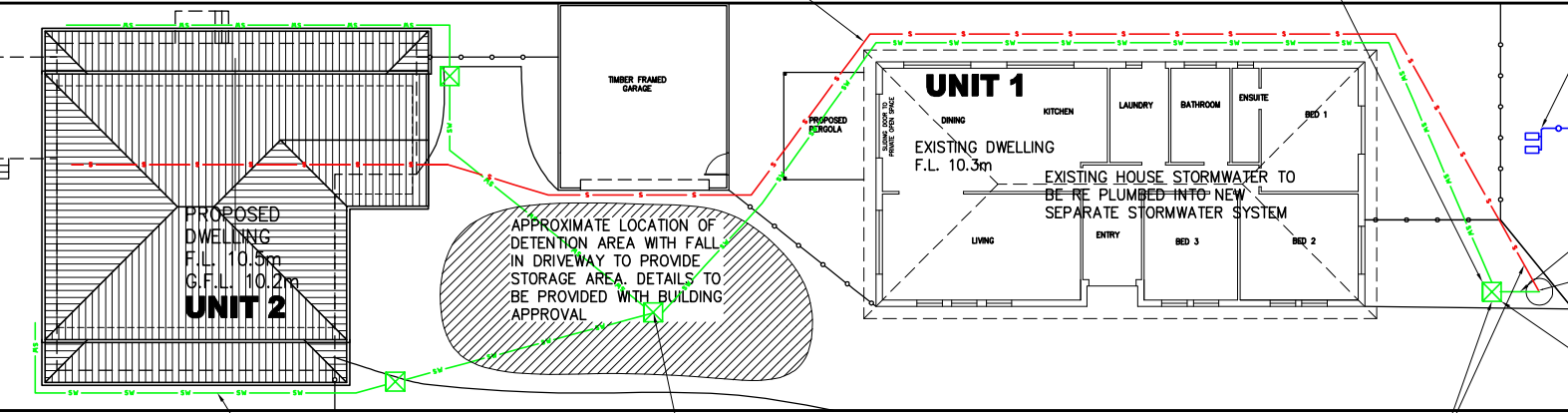
BOTTOM OF KERB LEVEL 9.8m

OVERFLOW FROM GRATED PIT TO STREET KERB

SEWER INVERT AT OUTLET HEIGHT OF 9.15m. 60m OF PIPE TO REAR OF UNIT 2, TO BE INSTALLED AT 1:80 GRADE SO INVERT AT HIGH POINT OF LINE 9.9m 600mm BELOW FLOOR LEVEL

800x600x600mm GRATED PIT AT FRONT OF PROPERTY WITH LID LEVEL AT 10.0m (OVER FLOW LEVEL) TRASH SCREEN AND ORIFICE. ORIFICE LEVEL MAXIMUM 9.2m
QUOTE FROM HYDRODYNAMICA REPORT
"A SHARP-EDGED STAINLESS STEEL ORIFICE PLATE (TBA) IN DIAMETER WILL THEREFORE BE REQUIRED IN ORDER TO LIMIT THE POST DEVELOPMENT OUTFLOW TO (TBA) L/S. GIVEN THE SMALL ORIFICE DIAMETER, A TRASH SCREEN WITH A 1 CM2 GAUGE IS RECOMMENDED IN ORDER TO PREVENT BLOCKAGES. THE ORIFICE PIT WILL REQUIRE REGULAR INSPECTIONS AND CLEANING."

SPOT LEVEL 9.7m



SPOT LEVEL 9.5m

STORMWATER PIPES OUTSIDE UNIT 2 DWELLING TO BE CHARGED. CONNECTED TO GRATED PITS TO DISPOSE STORMWATER INTO DETENTION AREA SYSTEM.

STORMWATER INVERT AT ORIFICE HEIGHT OF 9.2m. 50m OF PIPE TO WATER DETENTION AREA, TO BE INSTALLED AT 1:100 GRADE SO INVERT AT HIGH POINT OF LINE 9.7m

SEPARATE SEWER AND STORMWATER LINES TO BE INSTALLED UNDER EXISTING DRIVEWAY WITH EXISTING SERVICES CONNECTED INTO NEW LINES. LINES TO BE JOINED WITHIN 1m OF EXISTING CONNECTION

SITE PLUMBING PLAN

ON-SITE DETENTION (TASWATER ADVICE TO DRAINAGE AUTHORITY)
ON-SITE DETENTION STORAGE MUST BE PROVIDED TO LIMIT THE PEAK RATE OF PIPED STORMWATER DISCHARGE AND OVERLAND FLOWS, FROM THE SITE TO THAT GENERATED BY THE SITE AT ITS CURRENT LEVEL OF DEVELOPMENT FOR A 1 IN 5 STORM EVENT OF 1 HOUR DURATION. THE VOLUME OF THE DETENTION STRUCTURE MUST BE THE DIFFERENCE BETWEEN THE ABOVE DISCHARGE (PRE-DEVELOPMENT) AND THE DISCHARGE FROM THE SITE POST DEVELOPMENT
PRIOR TO THE COMMENCEMENT OF WORKS, THE PLANS AND CALCULATIONS MUST BE SUBMITTED TO THE GENERAL MANAGER, INFRASTRUCTURE & ASSETS NETWORK FOR APPROVAL. ON COMPLETION, AN "AS CONSTRUCTED" PLAN COMPLETE WITH LEVELS, MUST BE SUBMITTED, COMPLETE WITH A CERTIFICATION THAT THE STORAGE AND ADJACENT FLOOR LEVELS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DESIGN.

DESIGNED TO BE COMPLETED ONCE PLANNING APPROVAL IS GRANTED

DETENTION REQUIREMENT AREAS
EXISTING TOTAL SEALED AREA = 495 sq/m
(INCLUDING SHEDS TO BE DEMOLISHED AND EXISTING CONCRETE DRIVEWAY)
PROPOSED TOTAL SEALED AREA = 705 sq/m



BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248

DRAWING: SITE PLUMBING PLAN

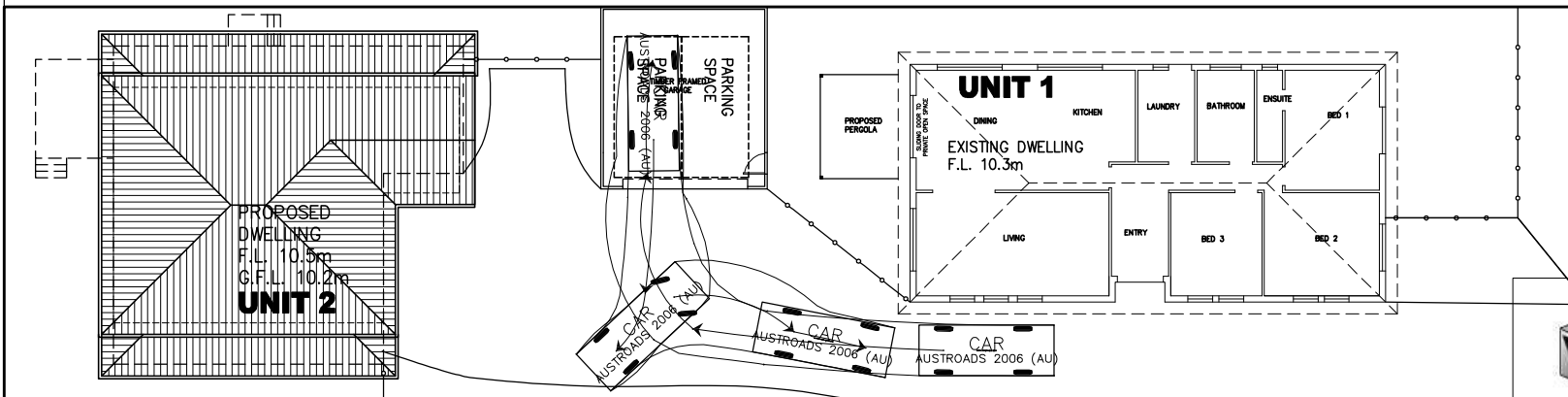
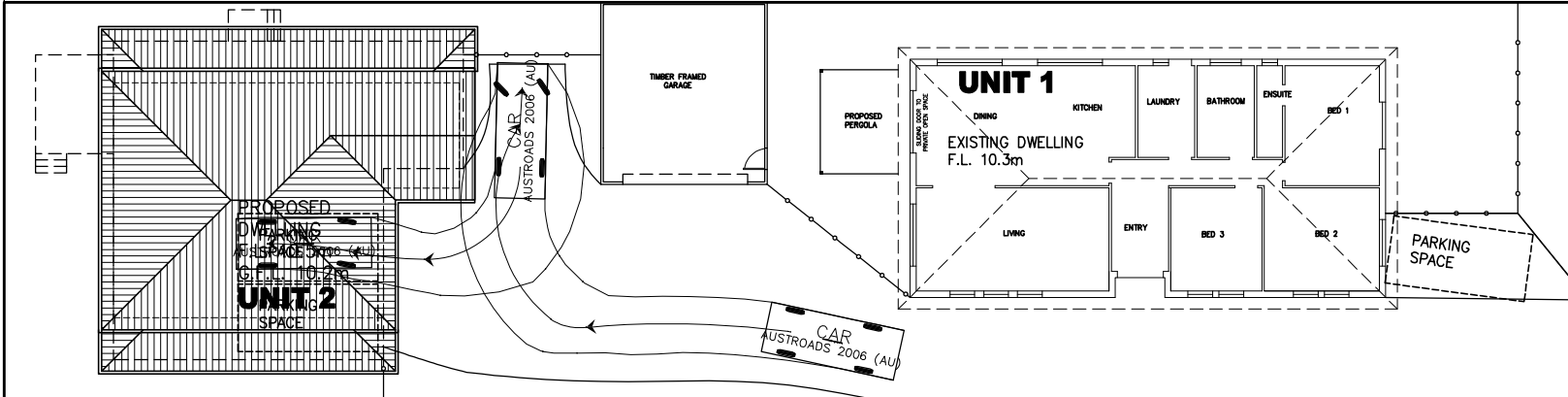
REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 15 / 10 / 20

SCALE: 1:200.
DRAWING No.: SMI0820 - 6/12

© BRADLEY VAN ZETTEN 2020
THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date addressed: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In making this document available on the internet the copyright owner will not be held responsible for any use of the information contained in this document for any purpose other than that intended. The Council reserves all other rights. Documents prepared by the Council are the property of the Council. This document will not be reproduced without the consent of the copyright owner.



DESIGNS

BRADLEY VAN ZETTEN
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

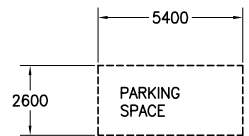
PROJECT: PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248

DRAWING: CAR PARKING PLAN

DESIGNED: B. v. Z. APPROVED. DATE: 15 / 10 / 20
 DRAWN: B. v. Z.

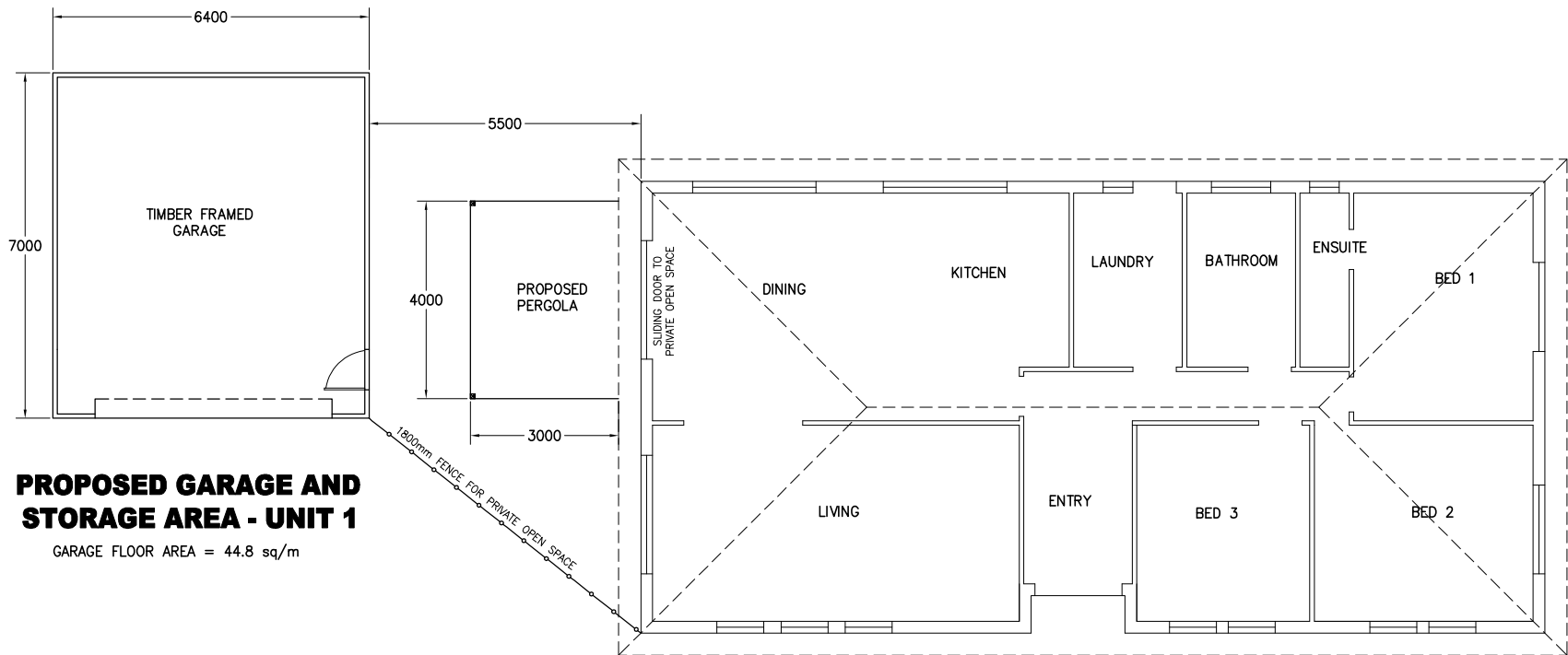
SCALE: 1:500. DRAWING No.: A3, SMI0820 - 7/12

CARPARKING PLAN



REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

© BRADLEY VAN ZETTEN 2020
 THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

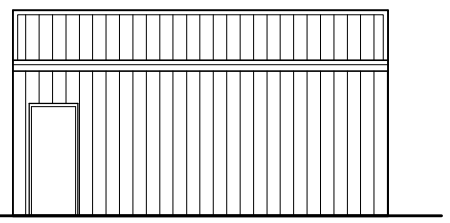


PROPOSED GARAGE AND STORAGE AREA - UNIT 1

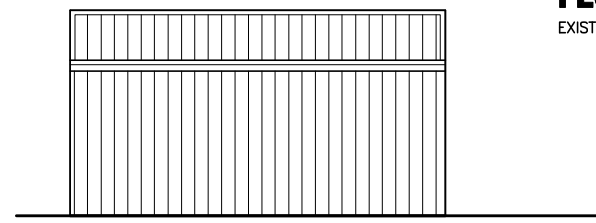
GARAGE FLOOR AREA = 44.8 sq/m

EXISTING HOUSE FLOOR PLAN

EXISTING FLOOR AREA = 166 sq/m



SOUTH ELEVATION



NORTH ELEVATION

PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date submitted: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In circulating this document on the internet the copyright owner will take every reasonable step to ensure the document is not used for other than the purposes for which it was prepared. The Council reserves all other rights. Documents prepared by our Officers, whether or not they are in public control, may not be reproduced without the consent of the copyright owner.

BRADLEY VAN ZETTEN
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248

DRAWING: EXISTING HOUSE FLOOR PLAN

DESIGNED: B. v. Z. APPROVED. DATE: 15 / 10 / 20
 DRAWN: B. v. Z.

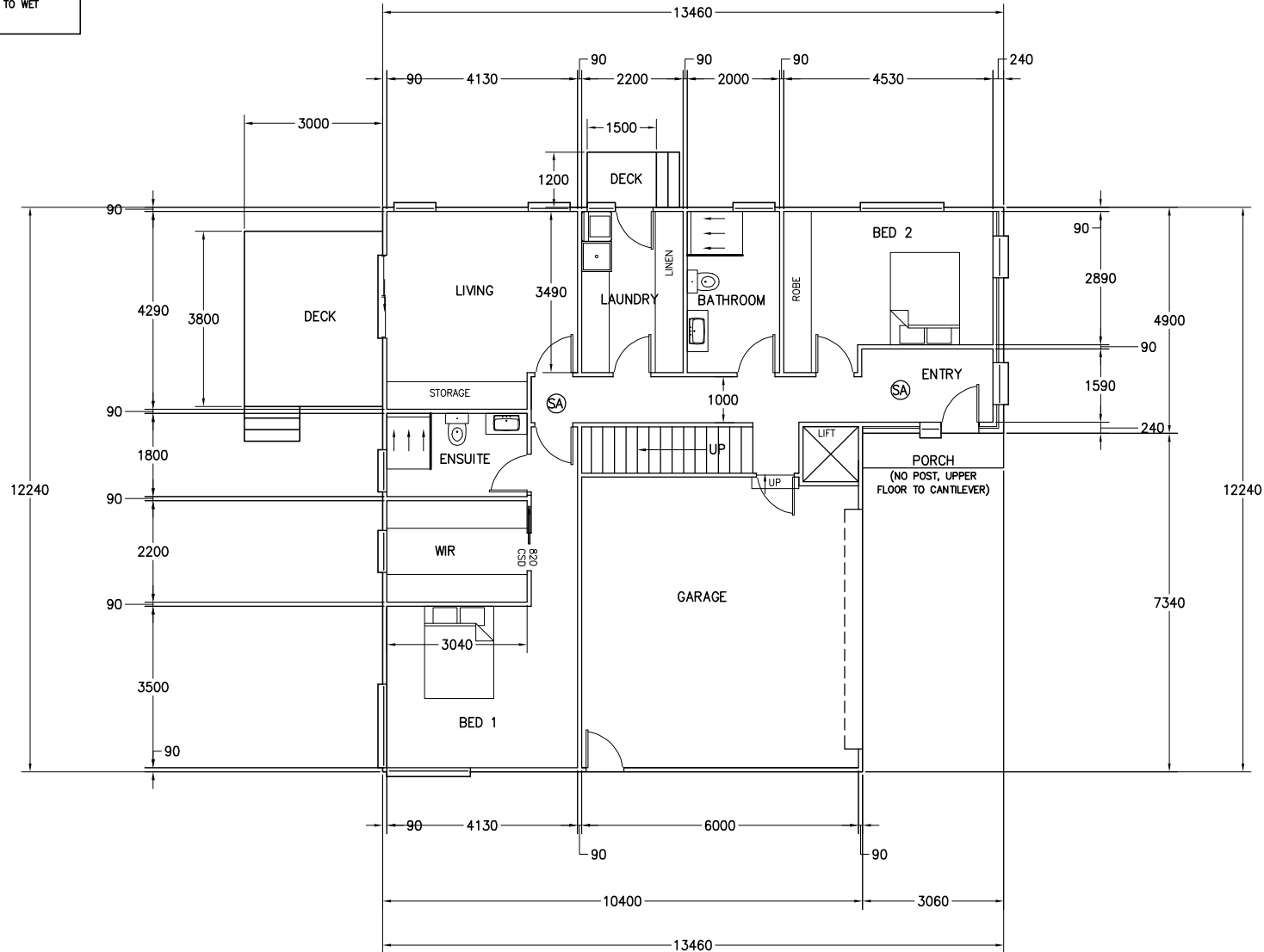
SCALE: 1:100. DRAWING No.: A3, SMI0820 - 8/12

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

© BRADLEY VAN ZETTEN 2020
 THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING

90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)



LOWER FLOOR PLAN

LOWER FLOOR AREA = 142.3 sq/m
 UPPER FLOOR AREA = 92.1 sq/m
 LOWER DECK AREA = 11.4 sq/m
 LAUNDRY DECK AREA = 1.8 sq/m
 UPPER DECK AREA = 13.6 q/m

Ⓜ - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH BCA 3.7.5. TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM

© BRADLEY VAN ZETTEN 2020
 THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date addressed: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In making this document available on the internet the copyright owner does not intend to make any part of it available for use in any other way. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the consent of the copyright owner.

BRADLEY VAN ZETTEN
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

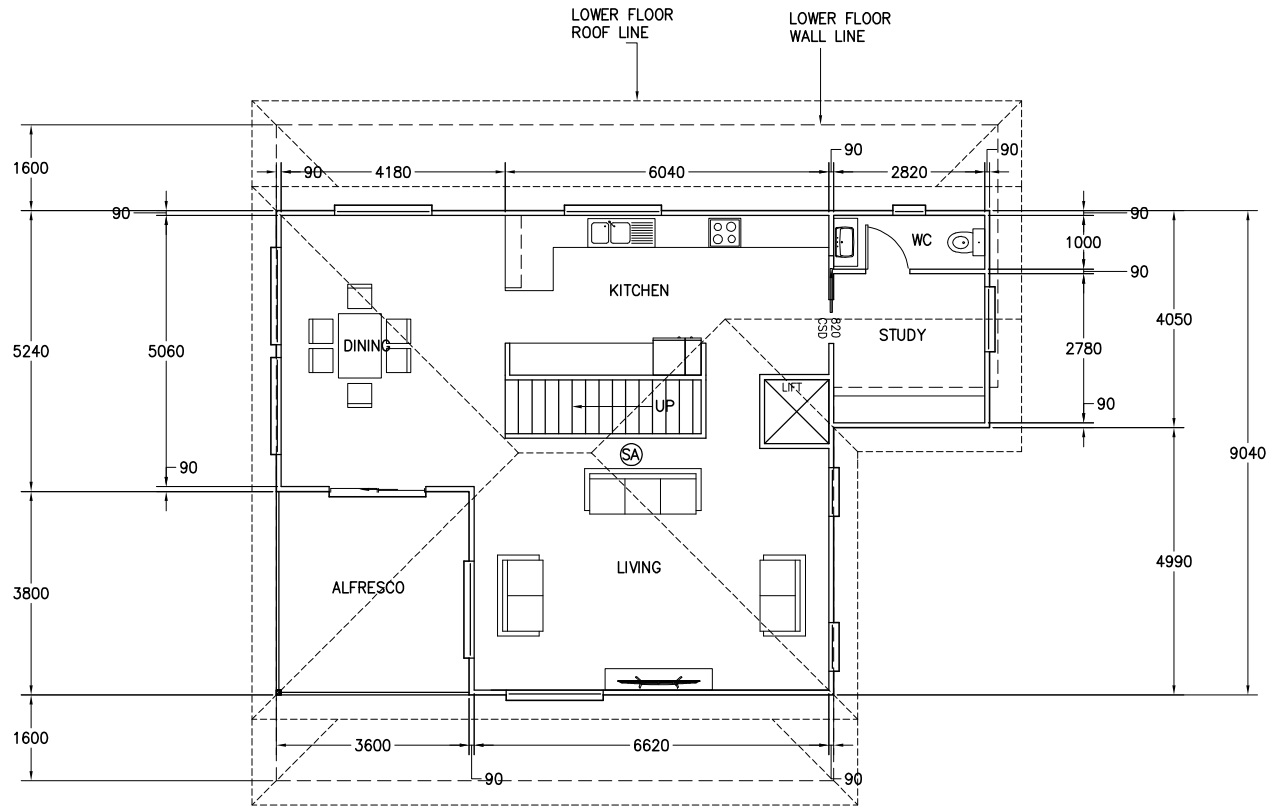
PROJECT: PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248

DRAWING: LOWER FLOOR PLAN

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 15 / 10 / 20

SCALE: 1:100.	DRAWING No.:
	A3, SMI0820 - 9/12

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020



UPPER FLOOR PLAN

PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date submitted: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In dealing with this plan or in reliance on the information contained herein, you shall indemnify and hold the Council harmless from all claims, damages, losses and expenses, including the Council's legal costs, which may be incurred by the Council in connection with the plan, whether or not the plan is approved or the plan is withdrawn.



BRADLEY VAN ZETTEN
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
 P SMITH AND D EASTHER
 AT 16 ROSS AVENUE
 INVERMAY 7248

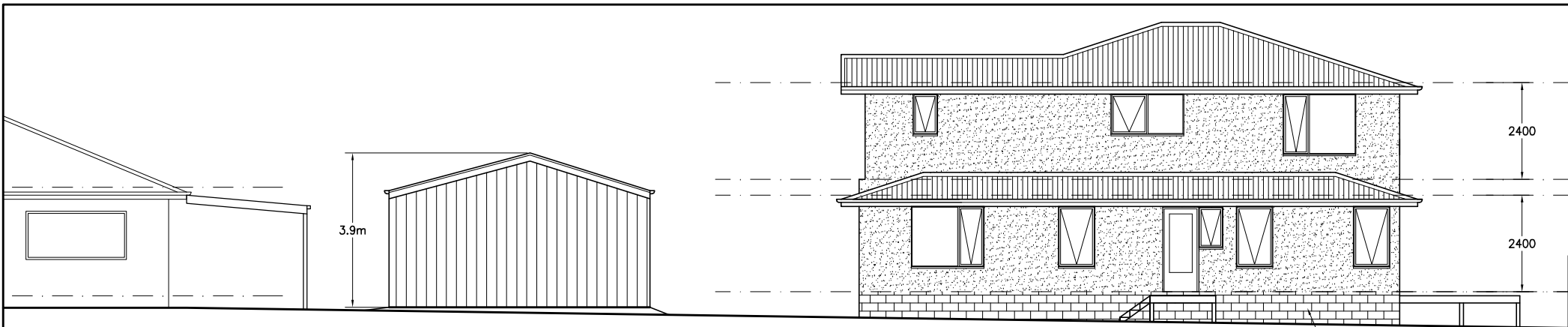
DRAWING: UPPER FLOOR PLAN

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

DESIGNED: B. v. Z. APPROVED.
 DRAWN: B. v. Z. DATE: 15 / 10 / 20

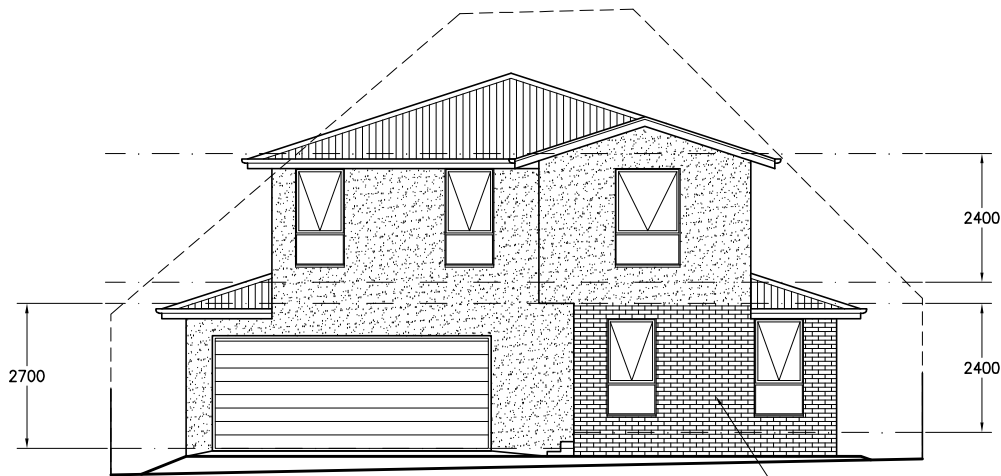
SCALE: 1:100. DRAWING No.:
 A3, SMI0820 - 10/12

© BRADLEY VAN ZETTEN 2020
 THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



EAST ELEVATION

BLOCK SUBFLOOR



SOUTH ELEVATION

BRICK VENEER CLADDING

PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date submitted: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In dealing with this document or its contents you must not disseminate the material or make any copies of the document or its contents for the sale or rental of any goods or services. The Council reserves all other rights. Documents deposited on this document are the property of the Council. This document shall not be reproduced without the consent of the copyright owner.

BRADLEY VAN ZETTEN
DESIGNS
 4 EDEN HILLS DRIVE
 RIVERSIDE 7250
 P. 0407 272 381
 E. BVZDESIGNS@GMAIL.COM
 LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR P SMITH AND D EASTHER AT 16 ROSS AVENUE INVERMAY 7248

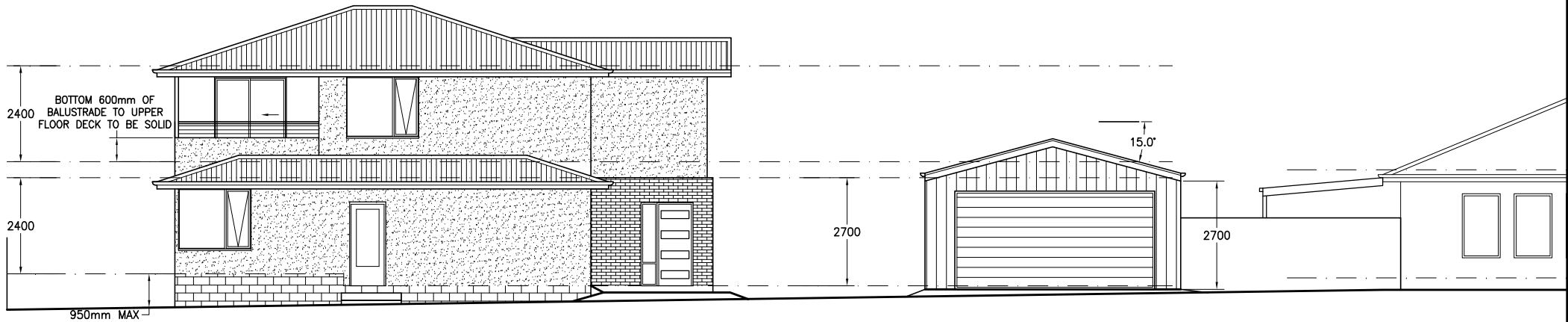
DRAWING: ELEVATIONS

DESIGNED: B. v. Z. APPROVED. DATE: 15 / 10 / 20
 DRAWN: B. v. Z.

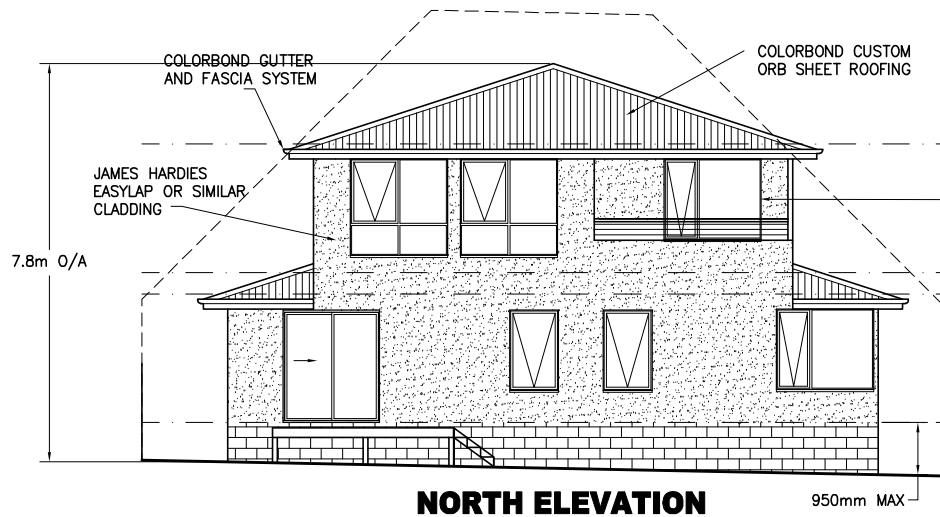
SCALE: 1:100. DRAWING No.: A3, SMI0820 - 11/12

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

© BRADLEY VAN ZETTEN 2020
 THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.




WEST ELEVATION



NORTH ELEVATION

ALUMINIUM FRAMED
WINDOWS AND
DOORS

 JAMES HARDIES
EASYLAP CLADDING

 BRICK VENEER CLADDING

PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 0640/2020
 Date submitted: 28/11/2020
 Planning Administration: *[Signature]*
This document is subject to copyright and is protected by law. In circulating this document on the internet the copyright owner will retain the right to make any amendments to the document at the end to comply with the requirements of law. The Council reserves all other rights. Documents prepared by the Council are the property of the Council. This document may be reproduced without the consent of the copyright owner.



**BRADLEY
VAN ZETTEN**

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
P SMITH AND D EASTHER
AT 16 ROSS AVENUE
INVERMAY 7248

DRAWING: ELEVATIONS

REVISION NUMBER	DATE
REVISION 1	02 / 09 / 2020
REVISION 2	16 / 09 / 2020
REVISION 3	19 / 09 / 2020
REVISION 4	30 / 09 / 2020
REVISION 5	15 / 10 / 2020

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 15 / 10 / 20

SCALE: 1:100.

DRAWING No.:
A3, SMI0820 - 12/12

© BRADLEY VAN ZETTEN 2020

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.