

SITE PLAN
 1 : 200

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2019, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

WARNINGS:

- THE DETAIL SHOWN / RECORDED
- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
 - IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
 - SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.20m



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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
 7 WEEDON AVENUE,
 SOUTH LAUNCESTON

Client name:
MENDELSSOHN CONSTRUCTION

Drafted by:
Author

Approved by:
Approver



Drawing:
SITE PLAN

Date: 01-06-2021
 Scale: 1 : 200

Project/Drawing no:
PD21024 01

Revision:
06

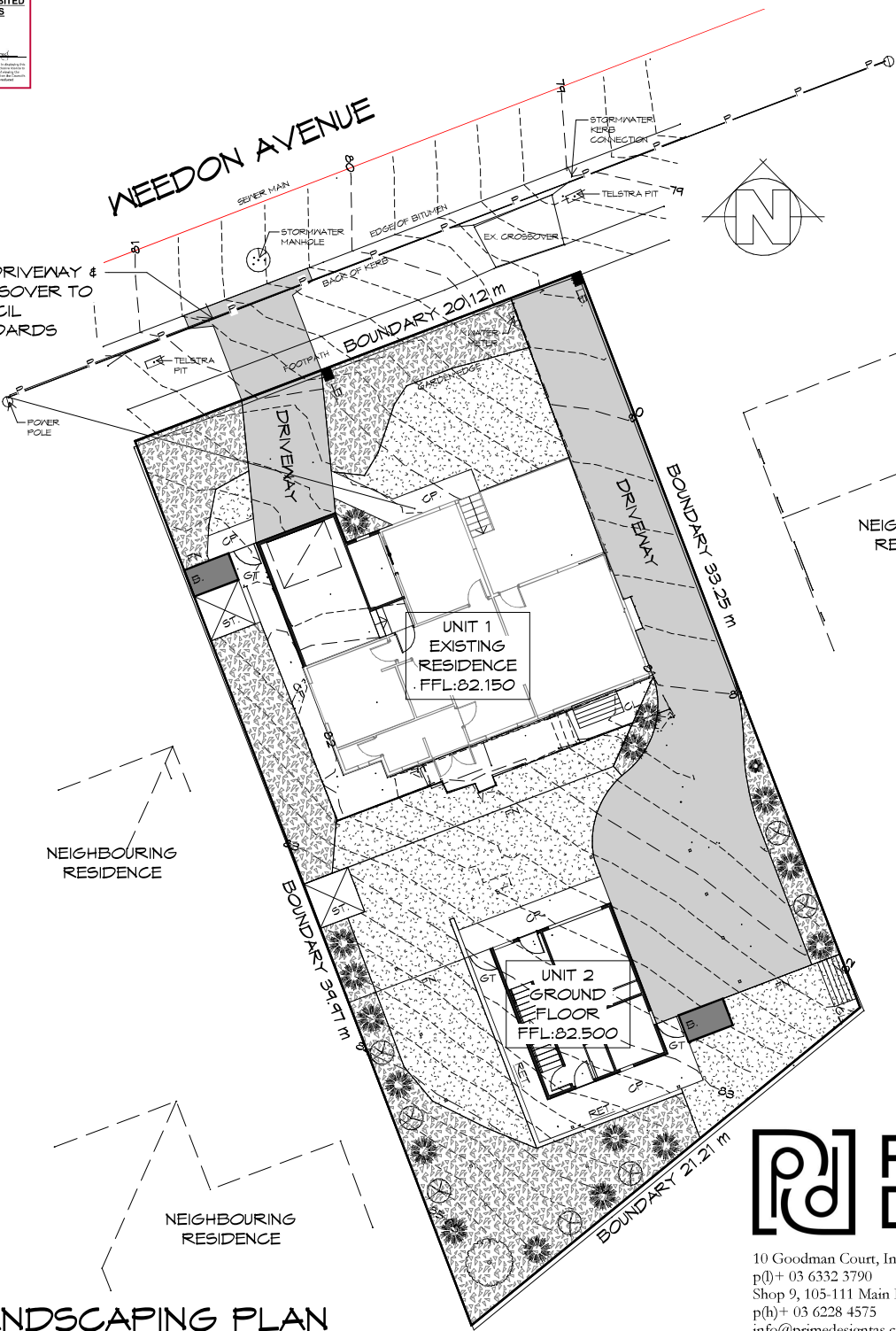
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

WEEDON AVENUE

NEW DRIVEWAY & CROSSOVER TO COUNCIL STANDARDS



LEGEND

- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED GROUNDCOVER/GRASS
- LAWN
- MULCH OR SIMILAR
- CP. CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- LB. LETTER BOX
- WASTE STORAGE 1.5m2
- GT GATE
- FN FENCE 1.8m HIGH
- 2X2m STORAGE SHED
- CL CLOTHES LINES - WALL MOUNT
- RET. ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL SYSTEM OR SIMILAR

SITE COVERAGE
 BUILDING FOOTPRINT 263.36m² /SITE AREA 736m² = 0.3578
 TOTAL SITE COVERAGE 35.78%

IMPERVIOUS SURFACES
 NON-IMPERVIOUS SURFACES 315.62m² /SITE AREA 736m² = 0.4288
 TOTAL SITE FREE FROM IMPERVIOUS SURFACES 42.88%

NEIGHBOURING RESIDENCE

NEIGHBOURING RESIDENCE

LANDSCAPING PLAN



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Date: 01-06-2021
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Drafted by: Author

Approved by: Approver



Project/Drawing no:
PD21024 03

Revision:
06

Accredited building practitioner: Frank Geskus -No CC246A

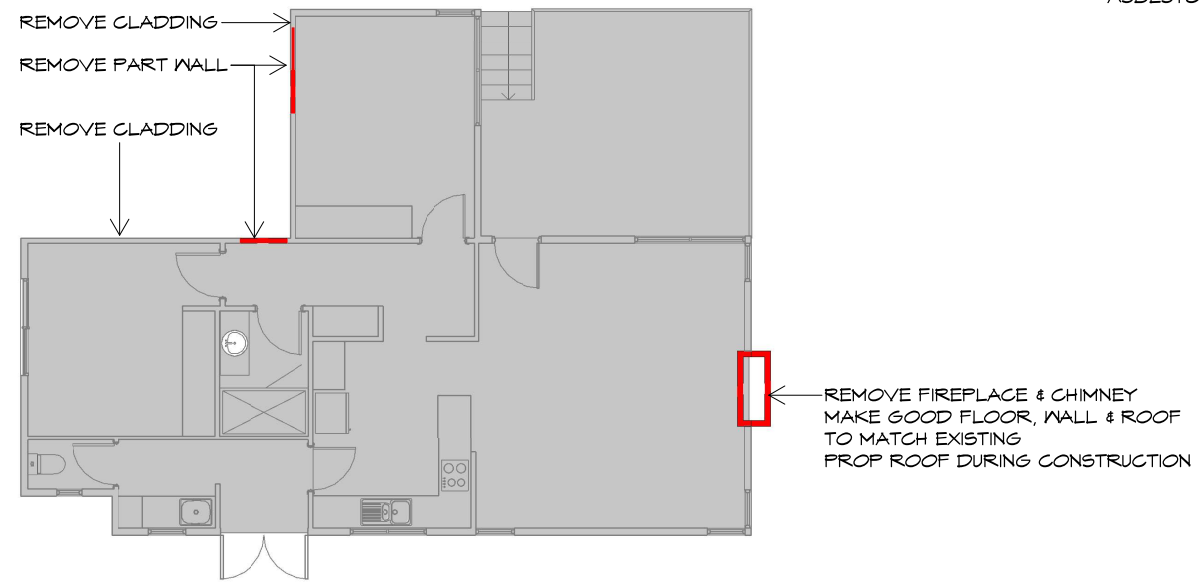
PLANNING

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DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS

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DEMOLITION PLAN

1 : 100



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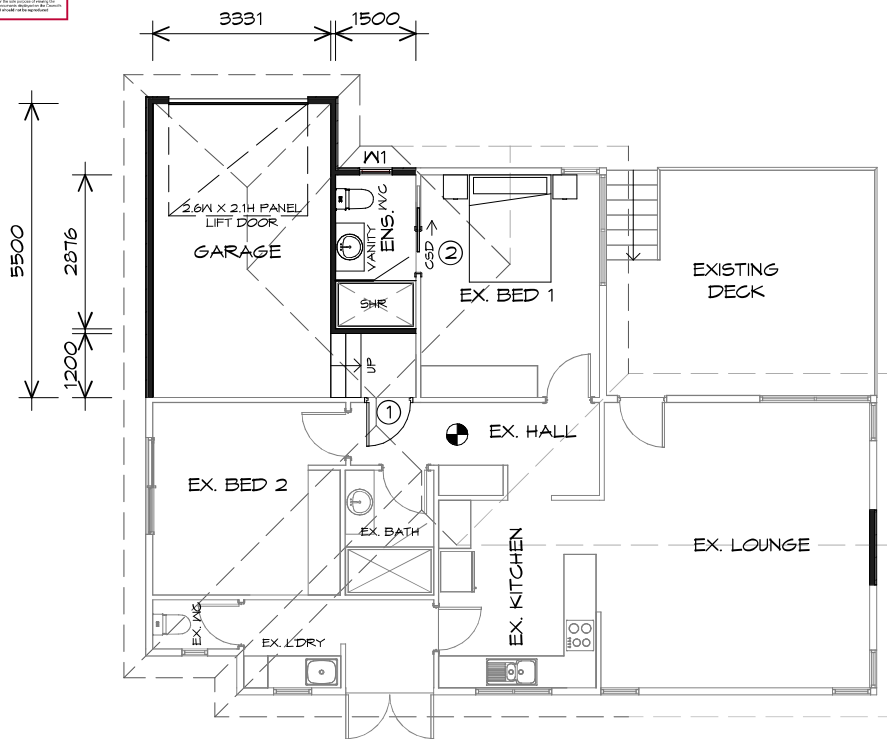
Drawing:
DEMOLITION PLAN

Date: **27-04-2021** Scale: **1 : 100**

Project/Drawing no: **PD21024 01-01** Revision: **04**

Accredited building practitioner: Frank Geskus-No CC246A





- LEGEND**
- ⊕ EXHAUST FAN-VENT TO OUTSIDE AIR.
 - ⊙ 240V SMOKE ALARM
 - CSD CAVITY SLIDING DOOR
 - 90X35 MPG10 NEW STUD WALLS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

FLOOR PLAN

1 : 100

UNIT 1 EXISTING FLOOR AREA	89.29	m ²	(9.60 SQUARES)
UNIT 1 EXISTING DECK AREA	22.12	m ²	(2.38 SQUARES)
UNIT 1 PROPOSED EXTENSION AREA	26.93	m ²	(2.90 SQUARES)
TOTAL AREA	138.34		14.87

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE				
MARK	WIDTH	TYPE	REMARKS	
1	820	INTERNAL TIMBER DOOR		
2	820	CAVITY SLIDING DOOR		

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1000	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE WITH FLY SCREENS TO SUIT ??? **BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

UNIT 1 (EXISTING HOUSE)



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Drawing:
FLOOR PLAN

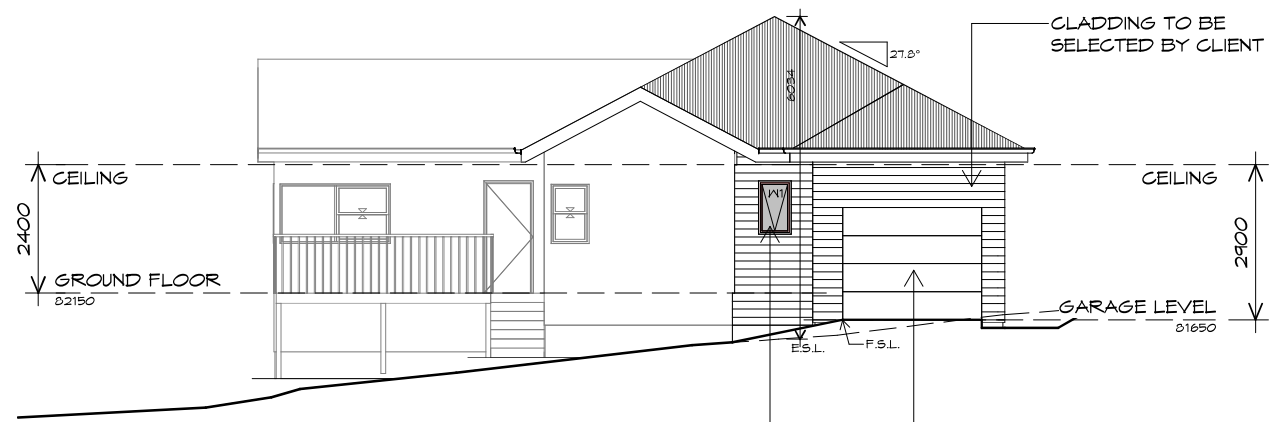
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PD21024 01-02

Revision:
04

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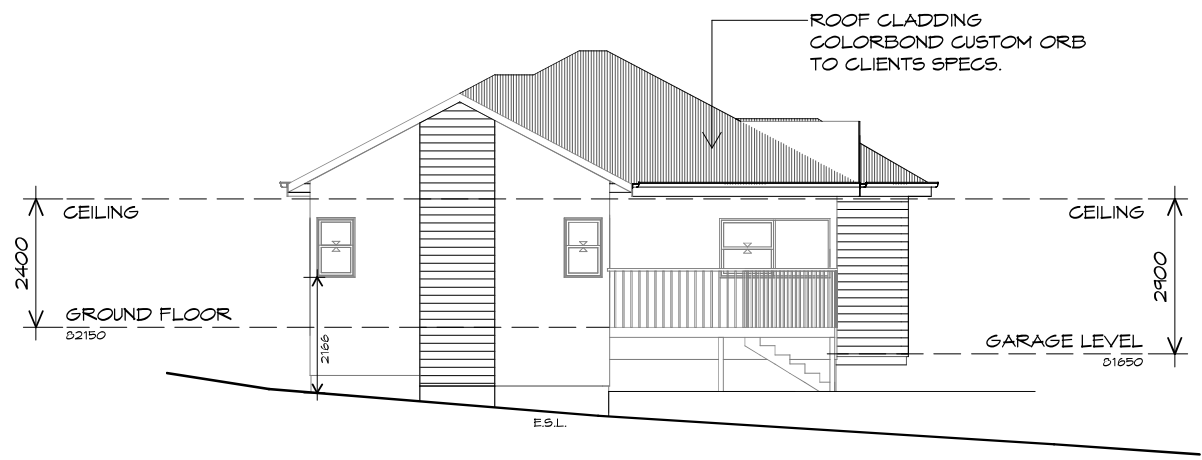




NORTHERN ELEVATION
 1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3

PANEL LIFT DOOR 2600 WIDE X 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC



EASTERN ELEVATION
 1 : 100

PLANNING
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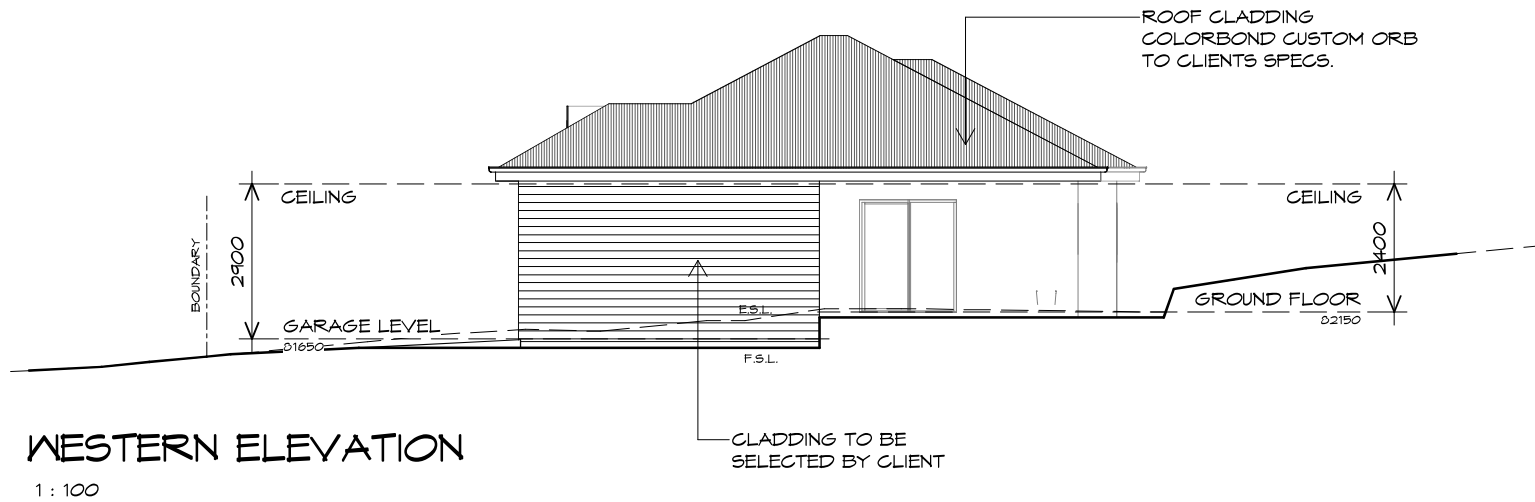
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Drawing:
ELEVATIONS

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27-04-2021	1 : 100

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PD21024 -01-03	04
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WESTERN ELEVATION
1 : 100



SOUTHERN ELEVATION
1 : 100

PLANNING
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ELEVATIONS

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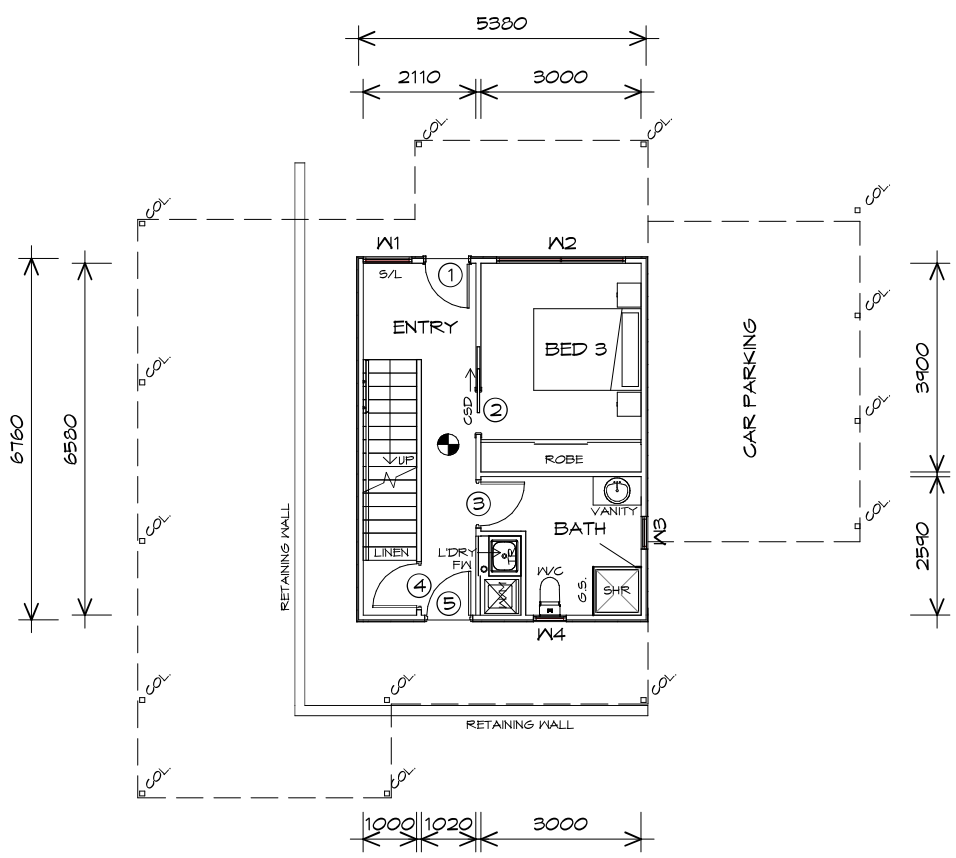
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LEGEND

- EXHAUST FAN-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- CAVITY SLIDING DOOR
- SLIDING DOOR
- FLOOR WASTE
- SIDELIGHT
- COLUMN
- GLASS SCREEN
- RANGE HOOD
- BULK HEAD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



GROUND FLOOR PLAN

1 : 100

UNIT 2 GROUND FLOOR AREA	37.20	m ²	(4.00	SQUARES)
UNIT 2 FIRST FLOOR AREA	100.86	m ²	(10.85	SQUARES)
UNIT 2 DECK AREA	25.18	m ²	(2.71	SQUARES)
TOTAL AREA	163.24		17.55	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	GLAZED EXTERNAL DOOR	

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	900	2410	AWNING WINDOW	
W3	900	610	AWNING WINDOW	OPAQUE
W4	900	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **???** BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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GROUND FLOOR PLAN

Date: **27-04-2021** Scale: **1 : 100**

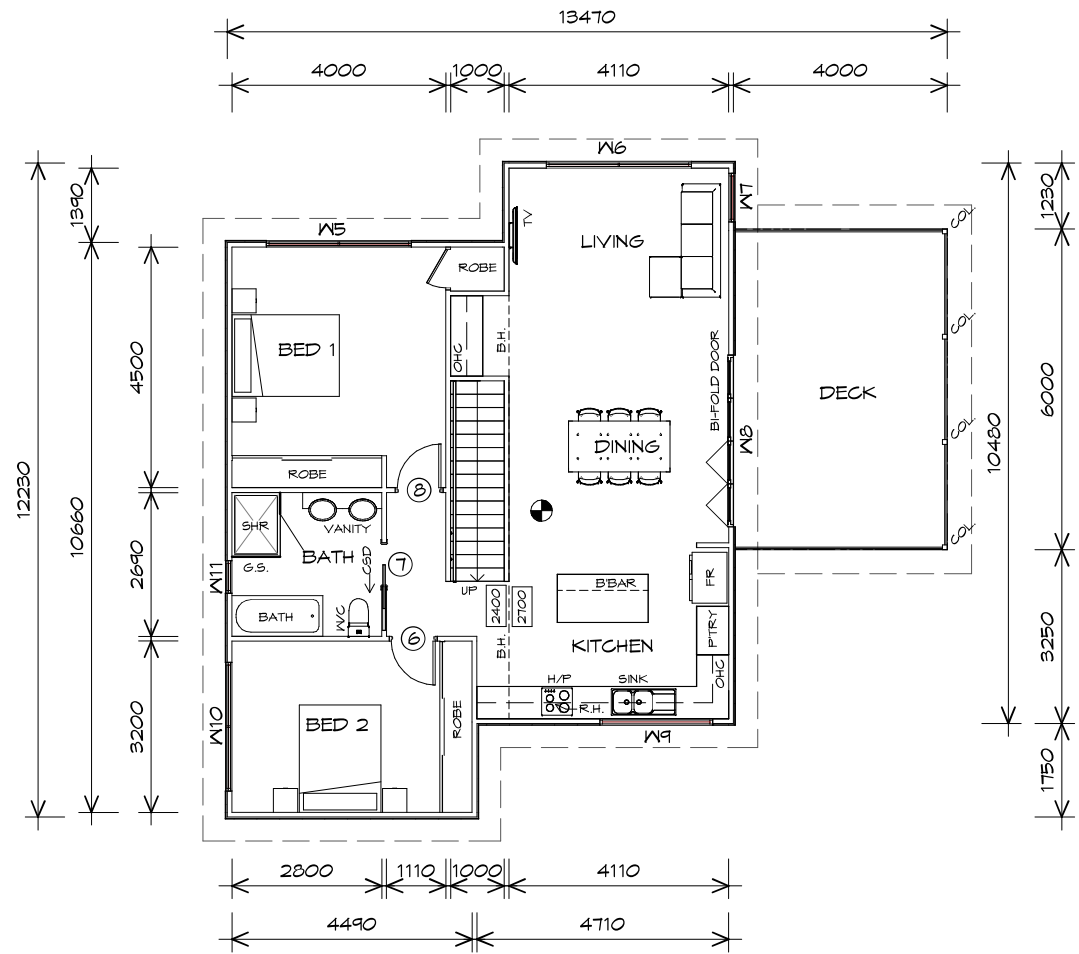
Project/Drawing no:
PD21024 02-01

Revision:
04

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UNIT 2



FIRST FLOOR PLAN

1 : 100

UNIT 2 GROUND FLOOR AREA	37.20	m ²	(4.00 SQUARES)
UNIT 2 FIRST FLOOR AREA	100.86	m ²	(10.85 SQUARES)
UNIT 2 DECK AREA	25.18	m ²	(2.71 SQUARES)
TOTAL AREA	163.24		17.55

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- ⊕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- ⊔ CAVITY SLIDING DOOR
- ⊔ SLIDING DOOR
- ⊙ FLOOR WASTE
- ⊔ SIDELIGHT
- ⊔ COLUMN
- ⊔ GLASS SCREEN
- ⊔ RANGE HOOD
- ⊔ BULK HEAD

MARK	WIDTH	TYPE	REMARKS
6	820	INTERNAL TIMBER DOOR	
7	820	CAVITY SLIDING DOOR	
8	820	INTERNAL TIMBER DOOR	

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W5	1000	2710	AWNING WINDOW	
W6	1000	2710	AWNING WINDOW	
W7	1000	910	AWNING WINDOW	
W8	2100	3210	GLASS BI-FOLD DOOR	
W9	1200	2110	FIXED WINDOW	
W10	1200	2410	AWNING WINDOW	
W11	900	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **???** BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

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Drawing:
FIRST FLOOR PLAN

Client name:
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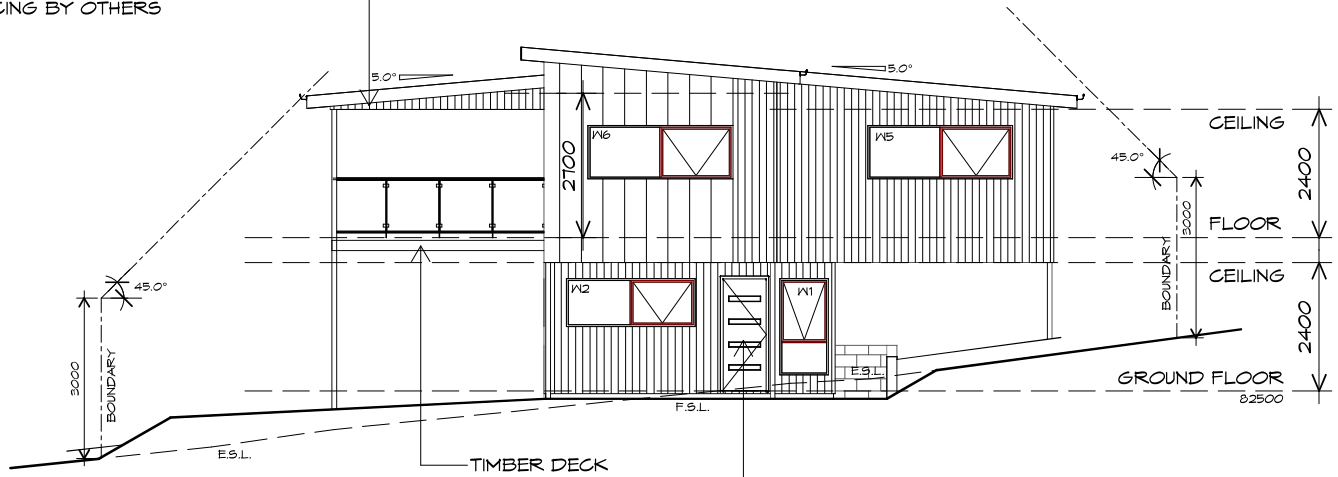
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UNIT 2

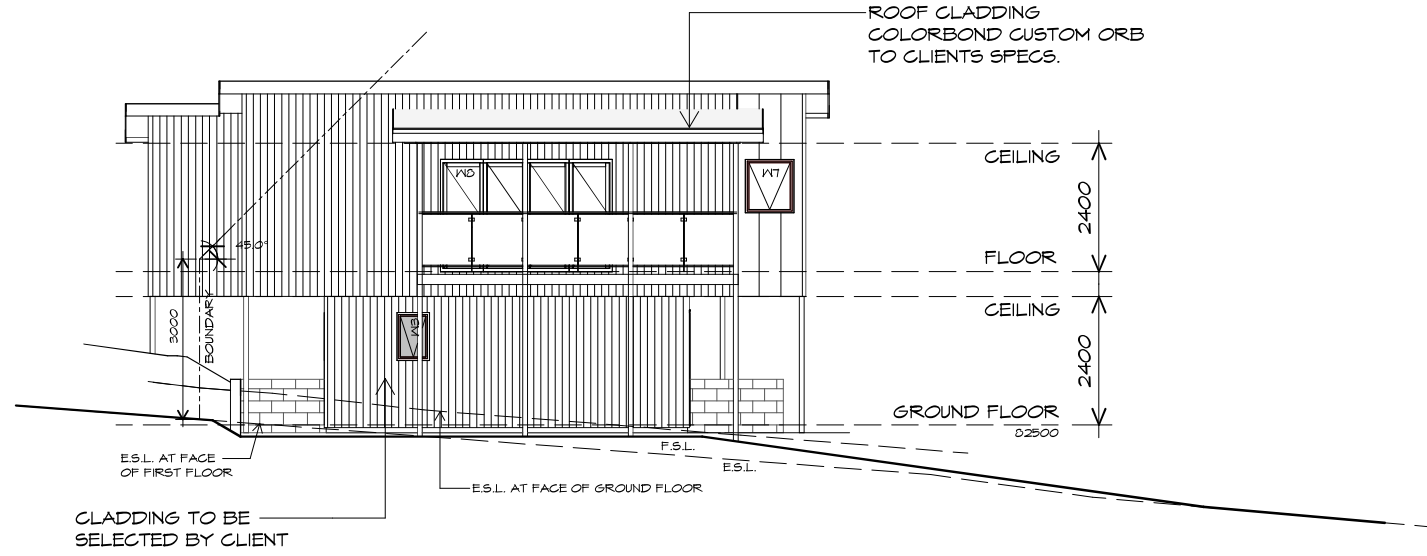
ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS



NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2.3.12.3



EASTERN ELEVATION

1 : 100

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.

CLADDING TO BE SELECTED BY CLIENT

PLANNING

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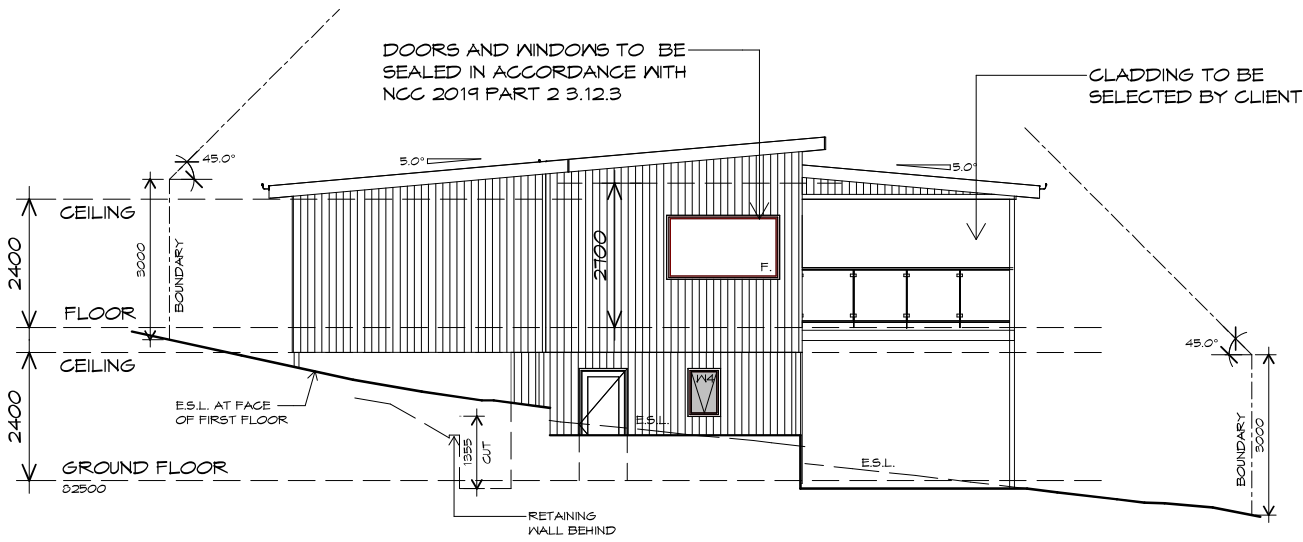
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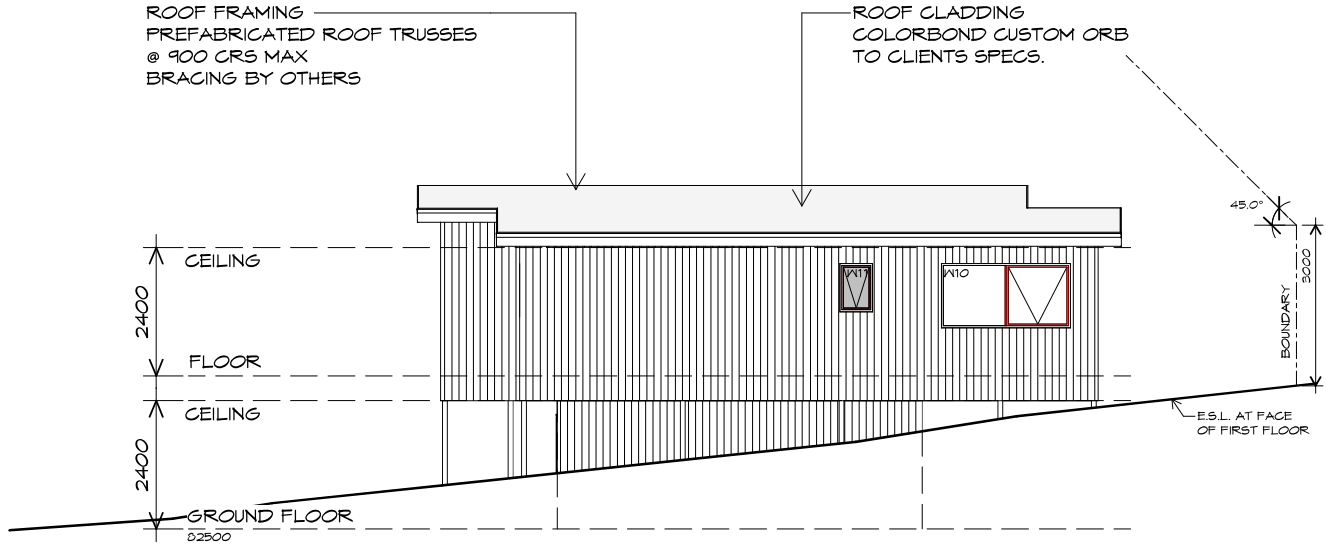
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SOUTHERN ELEVATION
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WESTERN ELEVATION
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