

Proposed town house development 29 Connaught cres, West Launceston

DRAWING SCHEDULE:

Sheet No:	Drawing:	Rev:	Revision Date:
A0-000	Cover		
A1-001	Site plan 1:300		
A1-002	Site plan 1:200		
A1-003	Shadow Diagrams		
A2-001	TH01 Floor plan		
A3-001	TH01 Elevations		
A3-002	Th01 Elevations		
A4-001	TH02 Floor plan		
A4-002	TH02 Elevations		
A4-003	TH02 Elevations		

GENERAL INFORMATION:

Accredited Architect:
Accreditation Number:
Land Title Reference Number:
Municipality:
Planning Scheme Overlay:

Zoning:
Building Class:
Soil classification:
Wind Classification:
Climate Zone:
Alpine Area:
Bushfire-prone Area BAL Rating:

Other Known site hazards:

Sam Haberle
CC5618 U
id 6637010 ref. 64211/7 (Certificate volume and folio)

Launceston City COUNCIL
Interim Planning Scheme 2013
Biodiversity Protection Area, Scenic Landscape Area,
11.0 Inner Residential

1a
TBC Site classification to AS 2870-2011 (Reference report author)
TBC Site classification to AS 4055-2006 (Reference report author)
7 (www.abcb.gov.au map)
N/a <300m AHD (NCC Figure 3.7.5.2)
N/a As determined by registered Bushfire Assessor (AS3959-2009) refer AK report dated 7th August

TBC High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors

Council Meeting - Agenda Item 9.1 - Attachment 2 - Plans to be Endorsed - 29 Connaught Crescent West Launceston - 3 June 2021



ARTISTS IMPRESSION

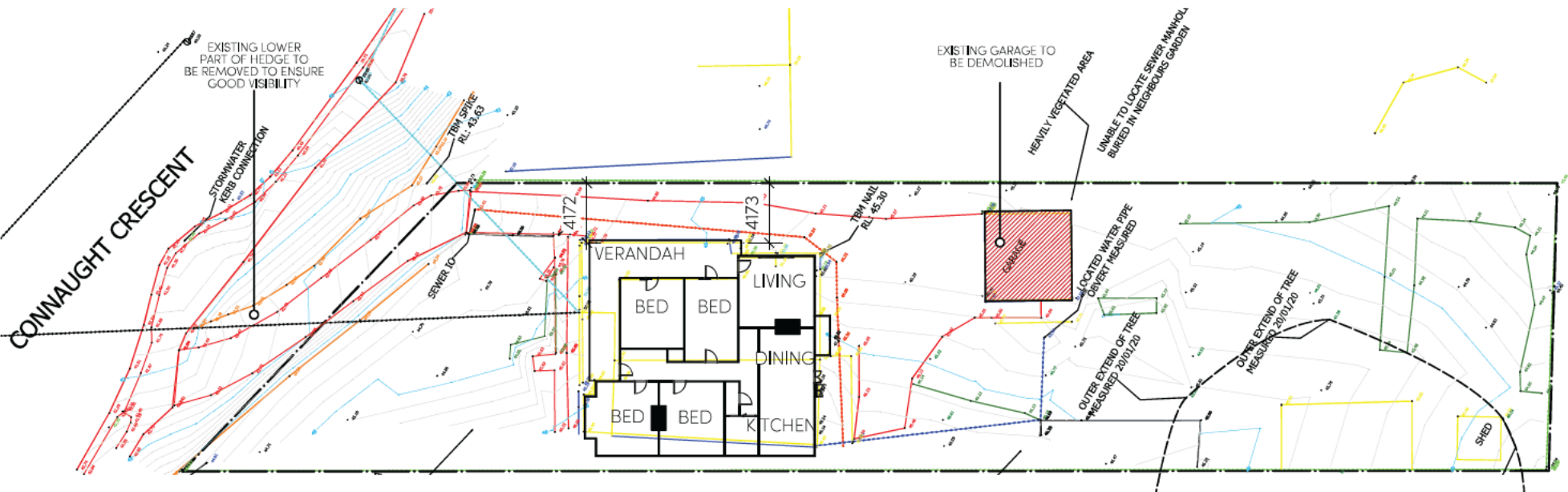
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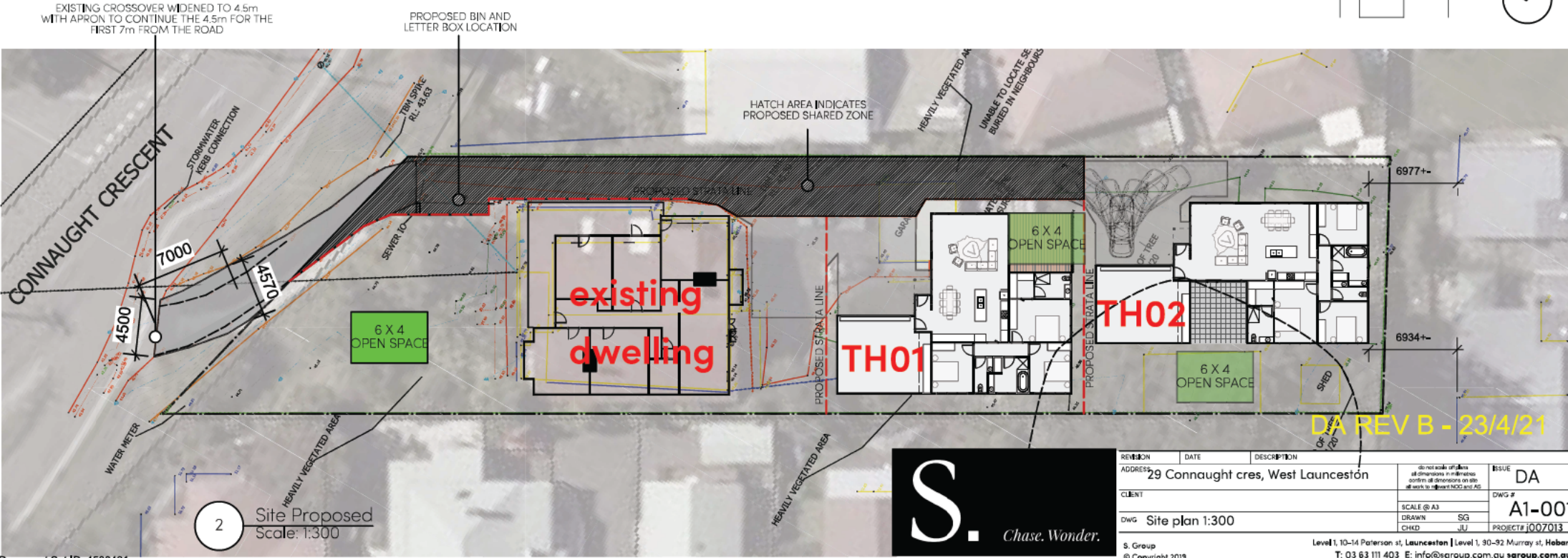
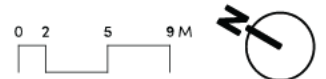
REVISION	DATE	DESCRIPTION	ISSUE
		29 Connaught cres, West Launceston	DA
		SCALE @ A3	DWG # A0-000
		DRAWN SG	PROJECT# J007013
		CHKD JU	

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1 Site Existing / Demolition
 Scale: 1:300
 1739m² Site Area



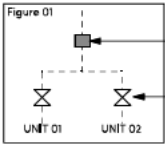
2 Site Proposed
 Scale: 1:300



REVISION	DATE	DESCRIPTION	ISSUE
29 Connaught cres, West Launceston			DA
CLIENT	29 Connaught cres, West Launceston		DWG # A1-001
DWG	Site plan 1:300	SCALE @ A3	PROJECT # J007013
CHKD		DRAWN SG	
		CHKD JU	

WORKS TO BE COMPLETED BY TASWATER AT DEVELOPERS COST

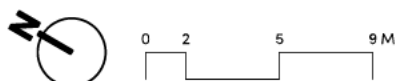
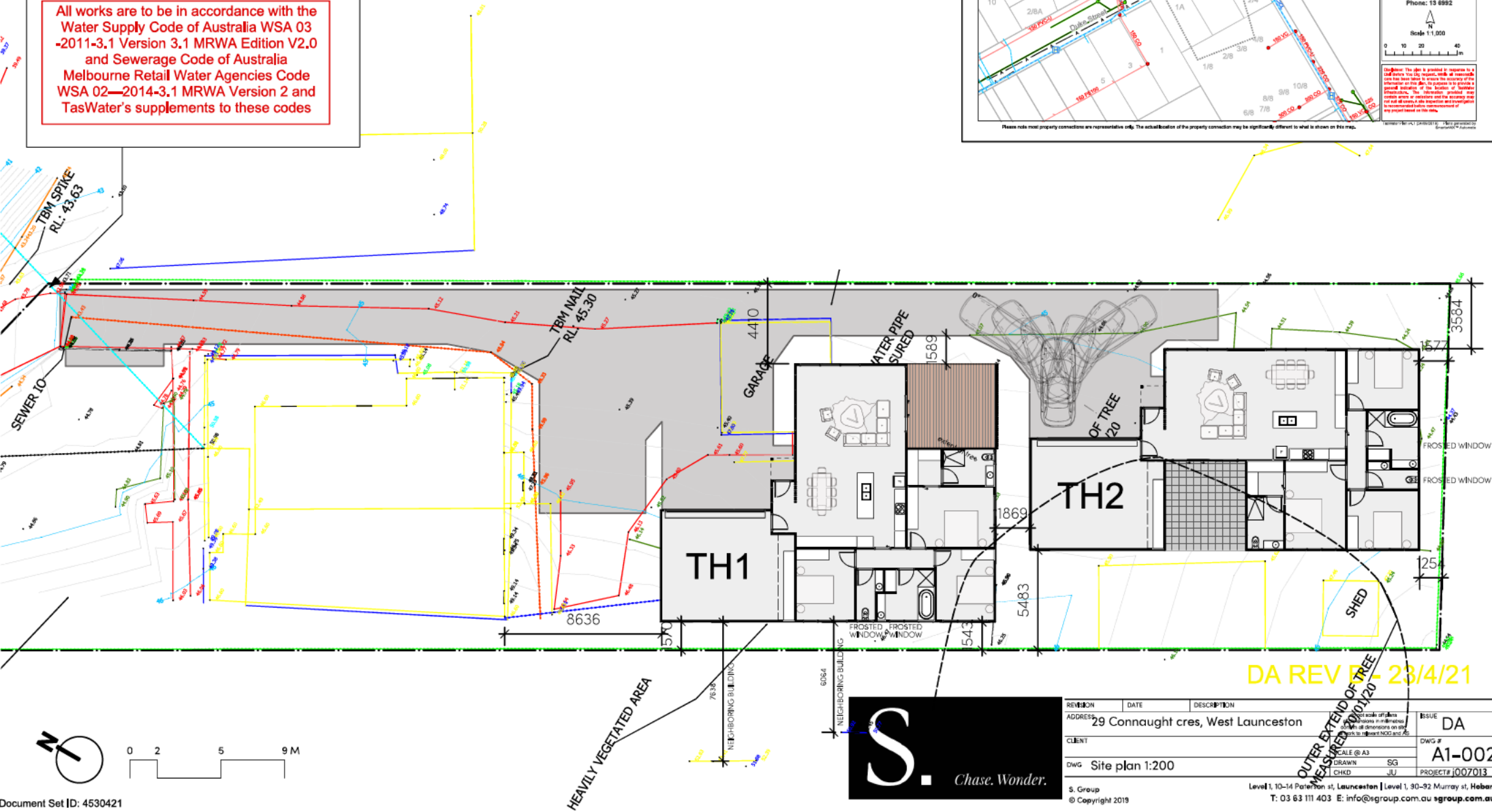
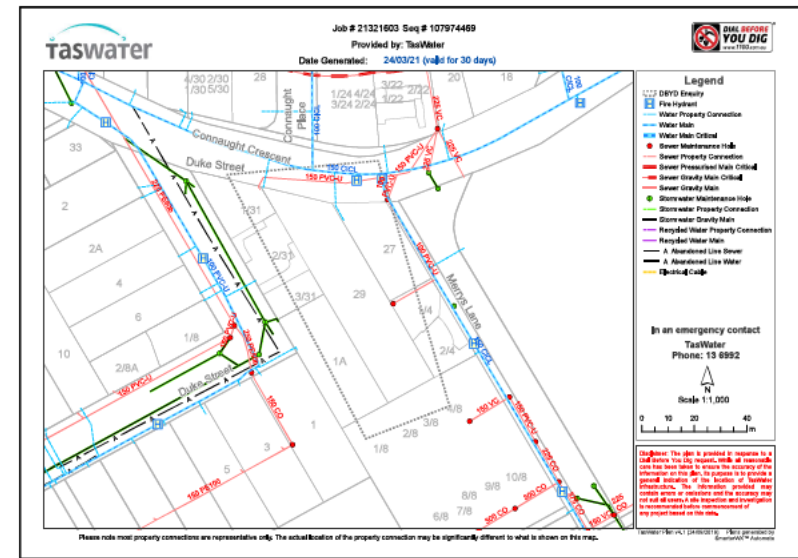
Existing ID 20mm water connection to be upsized to ID 25mm 500mm from boundary, work to be carried out by TasWater at Owners cost



provide stop valves & 2x 20mm meters on a manifold

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2 and TasWater's supplements to these codes

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 Date advertised: 28/04/2021
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REVISION	DATE	DESCRIPTION	ISSUE
			DA

29 Connaught cres, West Launceston

CLIENT: [Redacted]

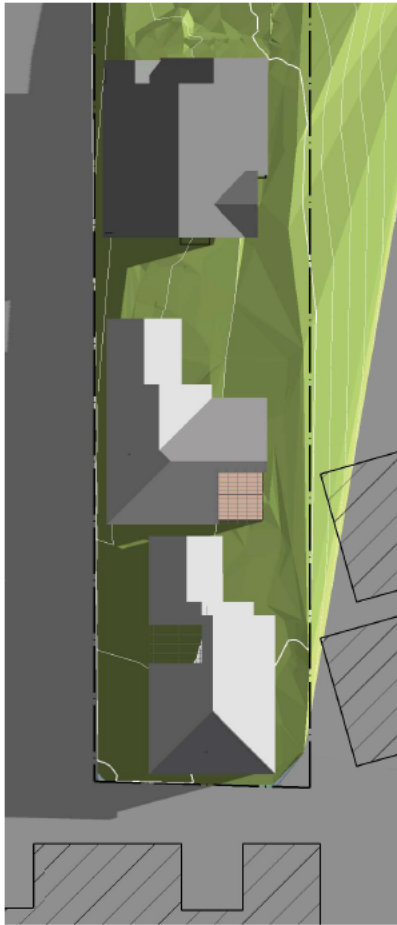
DWG: Site plan 1:200

DRAWN: SG
 CHKD: JU

PROJECT: J007013

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1 June 21 - 9am



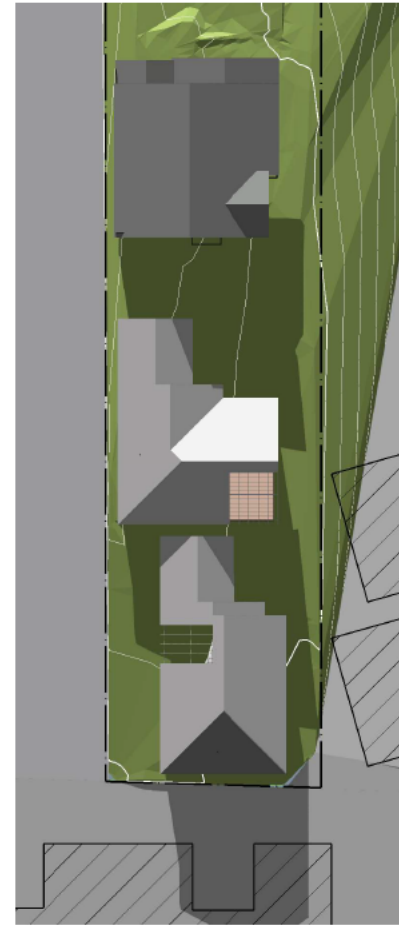
June 21 - 10am



June 21 - 12pm



June 21 - 2pm



June 21 - 3pm

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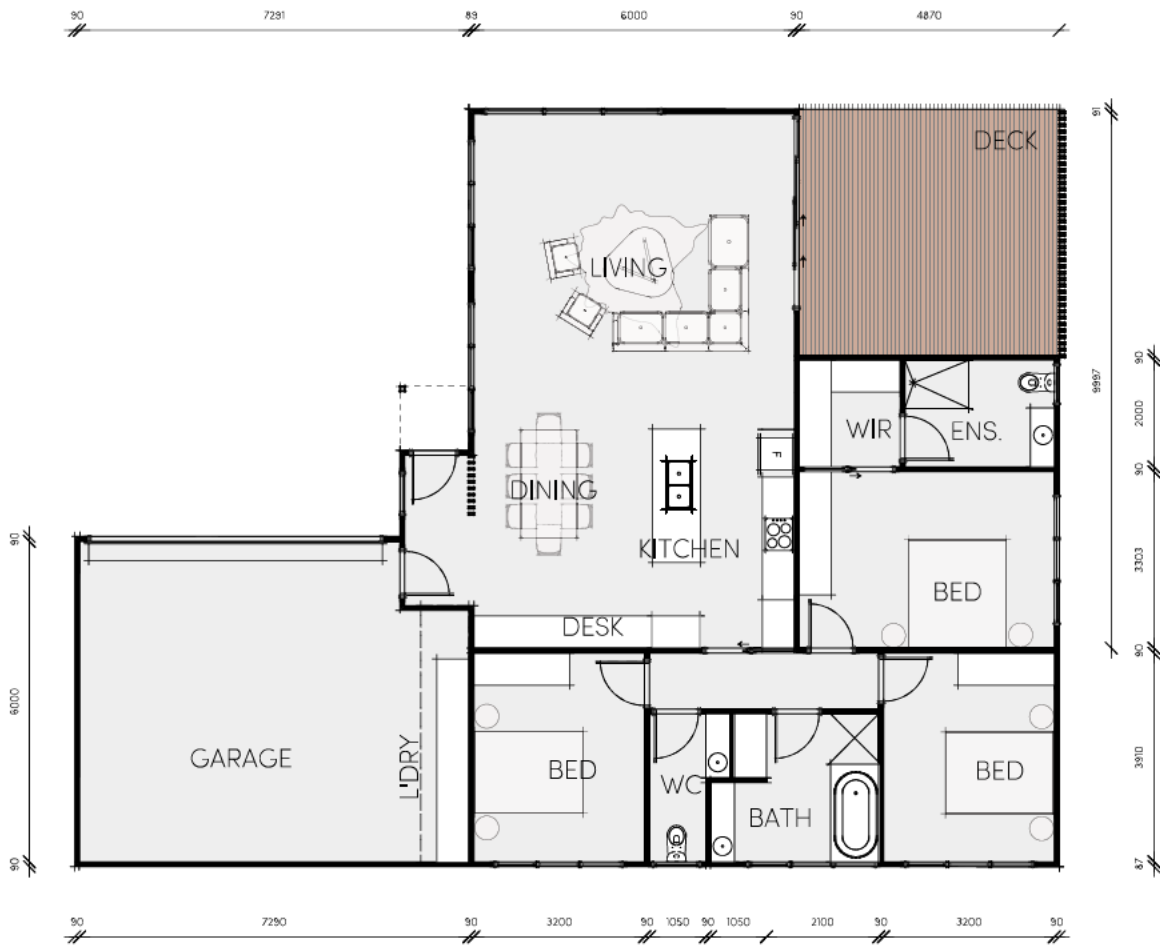
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CLIENT:			SCALE @ A3	DWG #
DWG: Shadow Diagrams			DRAWN: SG	A1-003
			CHKD: JU	PROJECT# J007013

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181m²
total floor area

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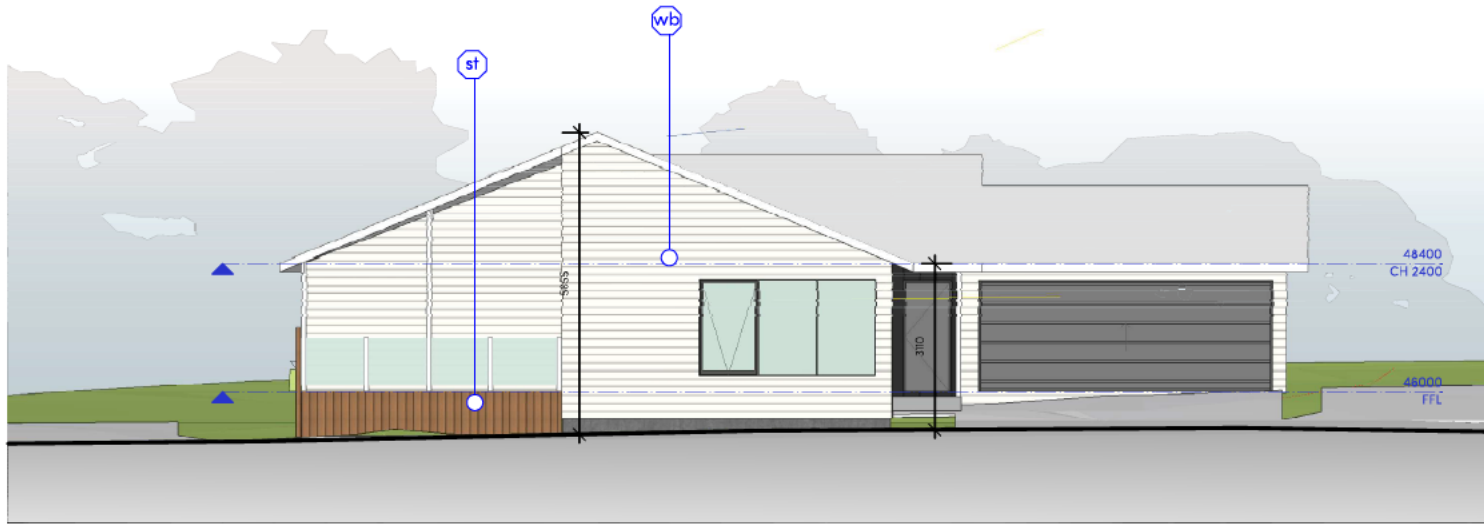
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REVISION	DATE	DESCRIPTION	ISSUE
ADDRESS		29 Connaught cres, West Launceston	DA
CLIENT	SCALE @ A3	DAWG #	A2-001
DWG TH01 Floor plan	DRAWN SG	PROJECT# J007013	
	CHKD JU		

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NORTH EAST ELEVATION

EXTERNAL FINISHES & COLOURS SCHEDULE:

- wb James hardie weatherboard
- st Select timber



NORTH WEST ELEVATION

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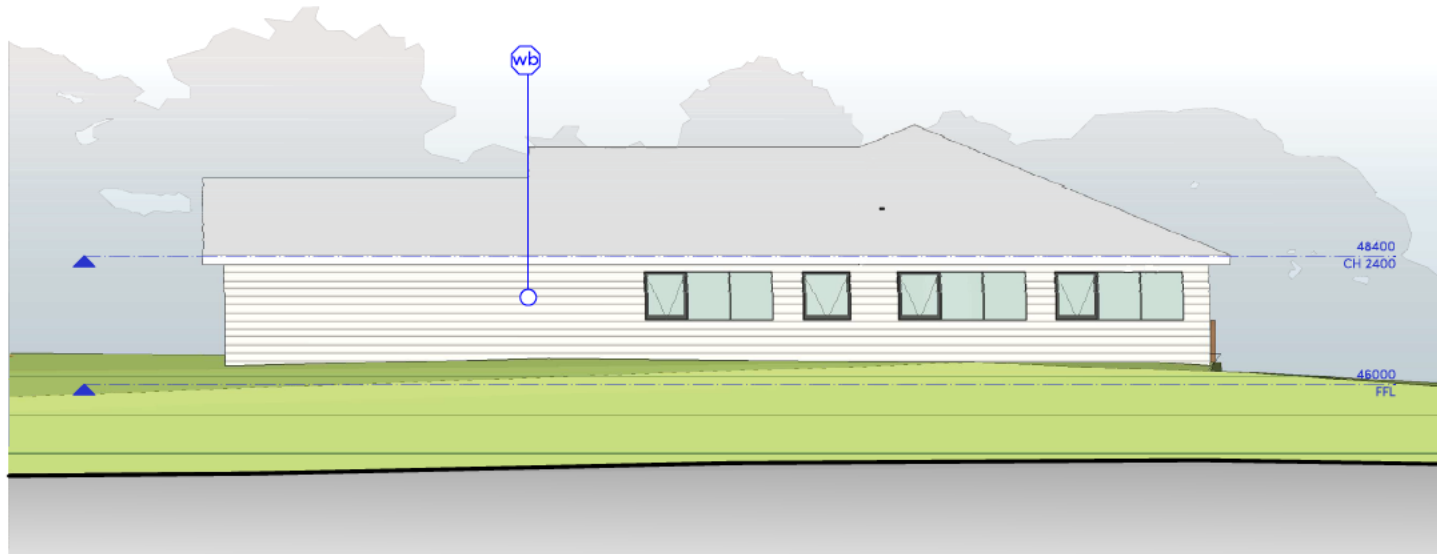
REVISION	DATE	DESCRIPTION	SCALE @ A3	ISSUE
ADDRESS		29 Connaught cres, West Launceston	DA	
CLIENT			DAWG #	A3-001
DWG		TH01 Elevations	SCALE @ A3	
			DRAWN SG	
			CHKD JU	PROJECT# J007013

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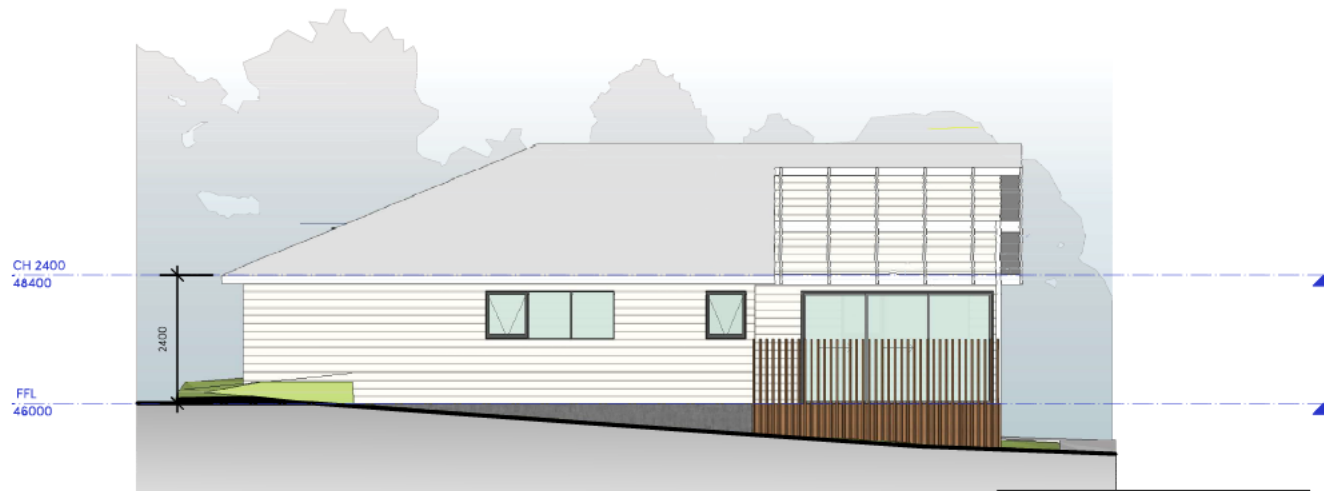
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EXTERNAL FINISHES & COLOURS SCHEDULE:

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- st Select timber



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



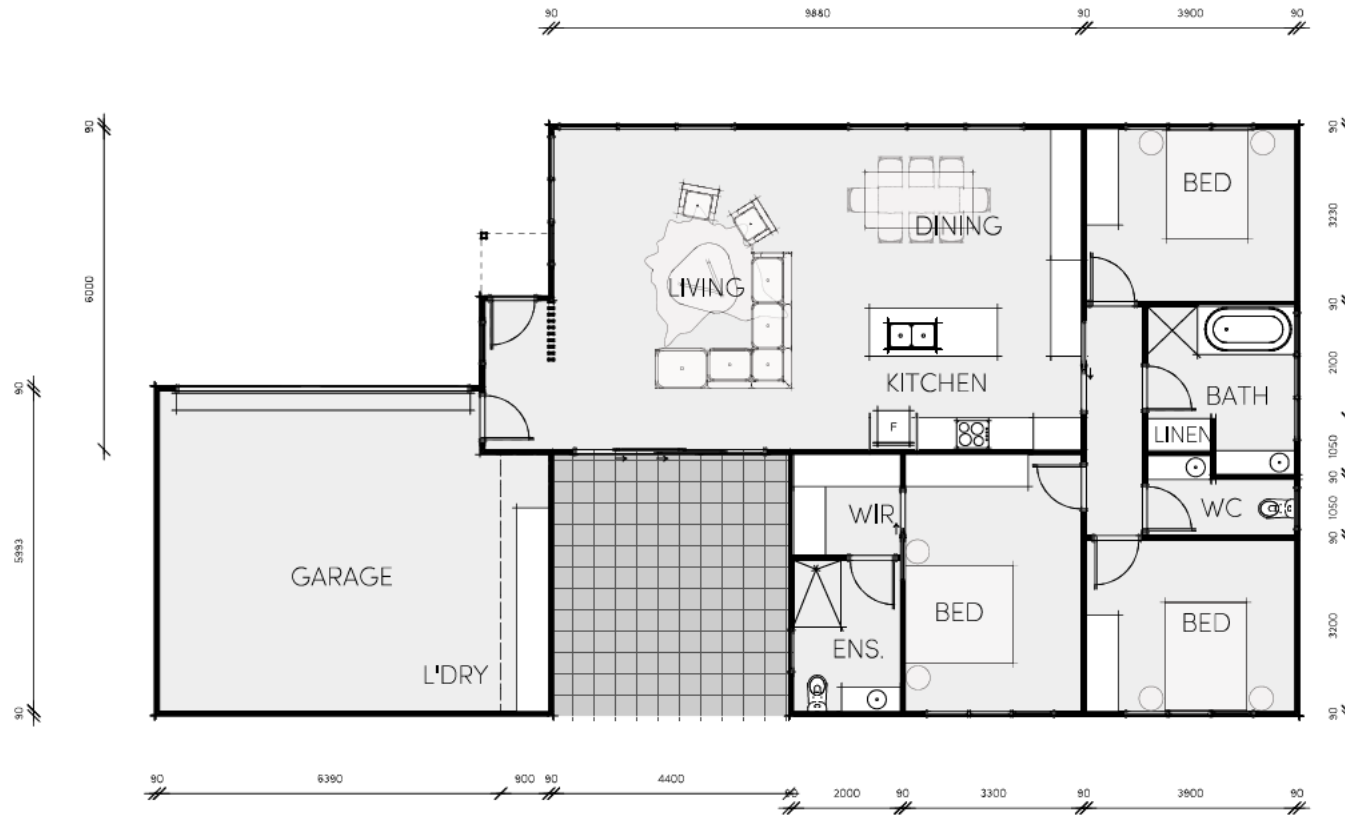
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REVISION	DATE	DESCRIPTION	SCALE @ A3	ISSUE
29 Connaught cres, West Launceston			DA	DA
CLIENT	29 Connaught cres, West Launceston		DRAWN SG	DWG # A3-002
DWG Th01 Elevations			CHKD JU	PROJECT# J007013

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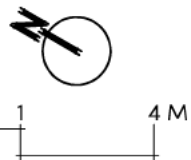
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181m²
total floor area

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29 Connaught cres, West Launceston		
CLIENT	do not scale off this all dimensions in millimetres confirm all dimensions on site all work to be done in accordance with the relevant NCC and AS	
DWG TH02 Floor plan	SCALE @ A3	ISSUE DA
	DRAWN SG	DWG # A4-001
	CHKD JU	PROJECT # J007013

EXTERNAL FINISHES & COLOURS SCHEDULE:

- wb James hardie weatherboard
- st Select timber



SOUTH EAST ELEVATION



NORTH EAST ELEVATION

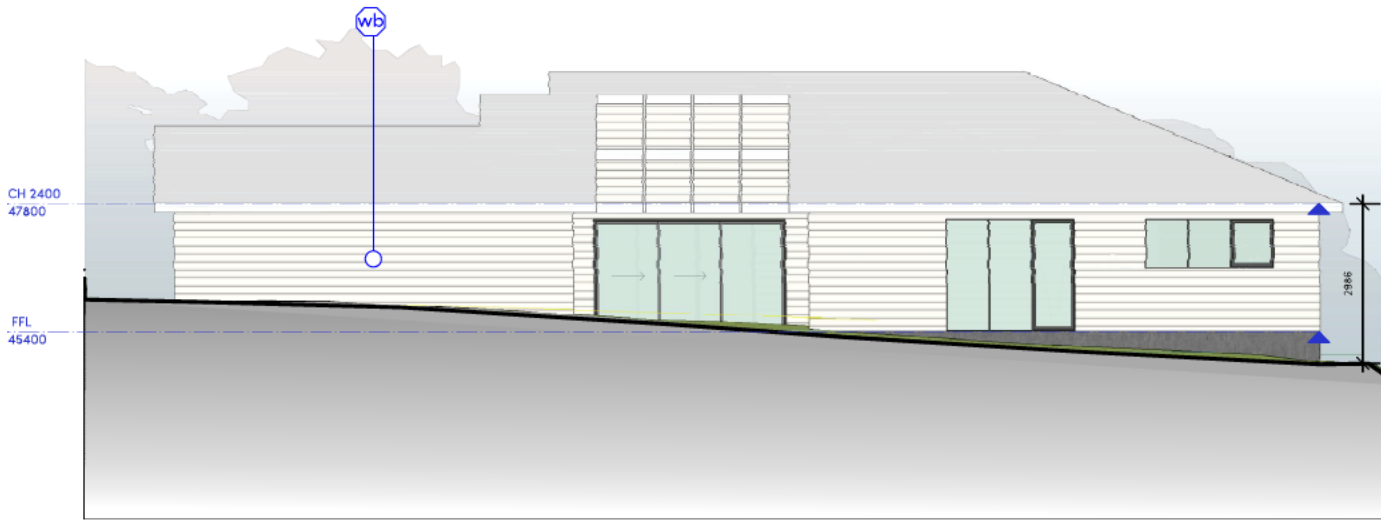
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REVISION	DATE	DESCRIPTION	SCALE @ A3	ISSUE
			SCALE @ A3	DA
ADDRESS: 29 Connaught cres, West Launceston			DRAWN: SG	DWG # A4-002
CLIENT:			CHKD: JU	PROJECT# J007013
DWG TH02 Elevations				

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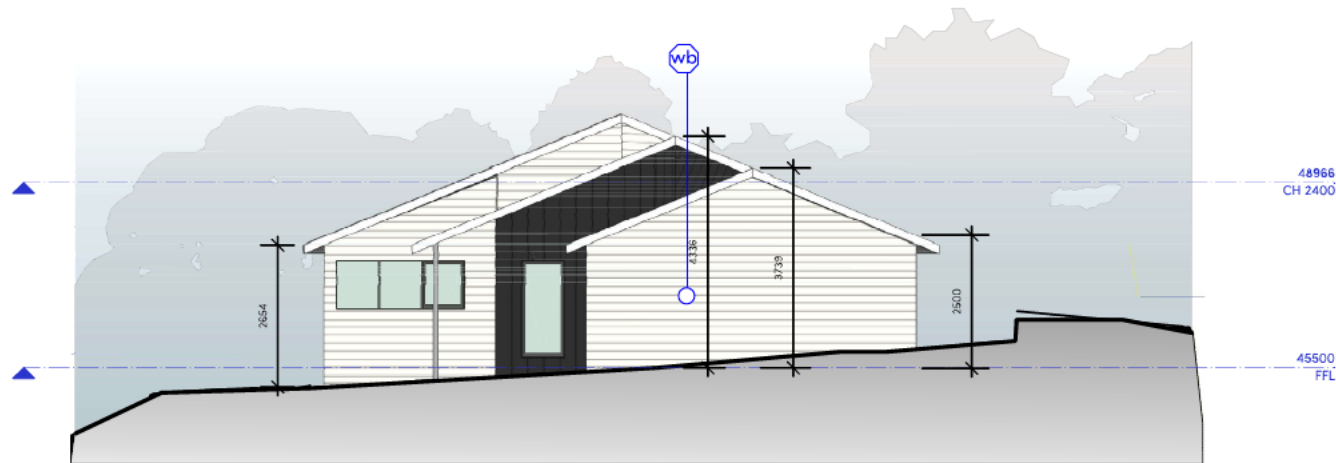
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SOUTH WEST ELEVATION

EXTERNAL FINISHES & COLOURS SCHEDULE:

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NORTH WEST ELEVATION

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CLIENT:			SCALE @ A3	DWG #
DWG TH02 Elevations			DRAWN SG	A4-003
			CHKD JU	PROJECT# J007013

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31st March 2021

Re: DA for the single multiple dwelling development proposed at no.29 Connaught Crescent, West Launceston.

This piece of property is zoned Inner residential with no known overlays. It is understood that this type of development is permitted development and this letter outlines and addresses the relevant / applicable codes for this development.

Overview:

Proposed is 2x dwellings, both homes incorporating 3 bedrooms, open planned kitchen / living / dining room & two bathrooms. The existing home at the front of the site is to be retained.

11.4 Inner Residential Zone

11.4.1 Setback from a frontage for single dwellings

A1. The proposal complies with the minimum 4.5m frontage offset.

11.4.2 Site coverage and rear setback for single Dwellings

A1. The proposed dwelling has a total site coverage of 32.03% and therefore complies with the maximum 50%.

P2. Due to the tight width and to maximize an appropriate amount of private open space the dwelling has a 1.2m setback to the rear boundary. The proposal ensures adequate sunlight to the adjacent dwelling due to the developments lowset design and approximate 6.9m from the adjacent dwellings at 8 Merrys Lane.

11.4.3 Building envelope for single dwellings

N/A

11.4.4 Frontage setback and width of garages

The proposed garage is not within 12m of the frontage.

10.4.7 Site coverage

A1.1 Total site coverage is 557m² which is 32% of the site therefore complies with the maximum 60%

A1.2 25% of the site will be pervious to rainfall.

11.4.8 Building height

A1. The maximum building height for the development is 5.66m and therefore complies with the maximum 9m restriction.

A2. N/a



11.4.9 Frontage setbacks

A1. The proposal is located behind the existing dwelling and therefore complies with the minimum 4m offset.

11.4.10 Rear and side setbacks

P1. The development is proposed with a minimum 1.25m from the rear boundary. The adjacent dwellings to the North East give precedent to this type of development with similar rear setbacks. There is no loss of amenity or loss of sunlight to adjacent dwellings and/or private open space. See Dwg A1-003 for shadow diagrams.

P2. The proposed side setback to townhouse 1 has a minimum dimension of 1.54m. The location of access strips and sufficient offsets to ensure privacy from these areas led to the need for a smaller offset to the side boundary to townhouse 1. The lot however large in size has a small width dimension which has informed the design decisions. This offset also aligns with the existing dwellings offset to the side boundary.

11.4.11 Walls on boundaries

N/A

11.4.12 Location of car parking

A1. The shared driveway has a dimension to the proposed townhouse 01 of 1.5m

A2. Car parking is not within the primary front setback.

A3 Garages are within 10m from the building it serves and not less than 5.5m from the frontage.

A4. N/a

11.4.13 Overlooking

A1.1. The proposed dwellings are separated by 1.86m and therefore complies with the minimum 1.5m

A1.2 complies

11.4.14 North-Facing windows

A1. complies

11.4.15 Daylight to windows

A1. The proposed development allows sufficient light to adjacent dwellings.

11.4.16 Density control of multiple dwellings

A1. The proposed development allows 468m² site area per dwelling.



11.4.17 Private open space for multiple dwellings

A1. The proposed development allows 24m² of private open space per dwelling. (see dwg A101)

11.4.18 Site facilities for multiple dwellings

A1. The proposed dwellings allow 6 cubic metres of storage within each garage.

A2. Mailboxes are shown at the front of the development (see dwg A101)

A3. Bin and recycling located at the front of the development and to be sufficiently screened.

11.4.20 Streetscape integration and appearance

A1. (a) complies

A2. (b) an area of covering is proposed to each front door.

A3. (b) proposed fences are further than 4.5m from the frontage.

11.4.22 Earthworks and retaining walls

A1. No more than 600mm cut or fill is proposed.

Car Parking

The number of car parking spaces provided for each dwelling will be sufficient to meet the reasonable needs of each dwelling. Each dwelling will be provided with 2 car parking spaces which satisfies the acceptable solution for individual dwellings. Due to the close proximity to the available bus route and sufficient uncontrolled street parking no visitor parking is proposed.

I trust that contents of this letter and the attached documentation have satisfactorily addressed the planning requirements for the proposal at 29 Connaught Cres, West Launceston. If there are any further questions or queries on the above, please do not hesitate to contact S. Group directly.

Yours Sincerely,

Steve Greenwood

