

Council Meeting - Agenda Item 9.2 - Attachment 2 - Plans to be Endorsed - 4 November 2021

PARTIE PRINAL FITOUT / CHANGE OF USE, 5A / 20-26 CAMERON STREET, LAUNCESTON

FOR PLANNING PERMIT ONLY NOT FOR CONSTRUCTION

PROJECT DETAILS
TITLE REFERENCE: 233613/1
SOIL CLASSIFICATION: REFER TO ENGINEERS DRAWINGS
WIND CLASSIFICATION: REFER TO ENGINEERS DRAWINGS
BAL RATING: N/A
CLIMATE ZONE: 7
ARCHITECT ACCREDITATION No.: CC4753B
NEW BUILDING AREA: N/A TOTAL BUILDING AREA: N/A
TOTAL SITE AREA: N/A TOTAL SITE COVERAGE: N/A

DRAWING NO DRAWING NO

DRAWING No.	DRAWING NAME	REV No.
D00.00	COVER SHEET	01
D01.01	SITE PLAN	01
D01.02	GROUND FLOOR DEMOLITION PLAN	01
D01.03	GROUND FLOOR PLAN	01

GENERAL NOTES

- 1. COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND SPECIFICATIONS.
- 2. DO NOT SCALE DRAWINGS
- 3. CONTRACTOR AND SUB-CONTRACTORS SHALL FAMILIARISE THEMSELVES WITH EXISTING CONDITIONS, LOCATIONS, AND PROJECT REQUIREMENTS PRIOR TO SUBMITTING A TENDER.
 4. CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS, AND FAMILIARISE THEMSELVES WITH PROJECT REQUIREMENTS PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO ARCHITECT FOR INSTRUCTION PRIOR TO COMMENCING ANY FABRICATION.
- 5. WORK SHALL INCLUDE ALL REQUIRED LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL WORK INDICATED ON DRAWINGS AND AS NECESSARY FOR A COMPLETE PROJECT.
 6. PROVIDE TEMPORARY DUST-PROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXISTING AREAS AND EQUIPMENT FROM DAMAGE DUE TO DEMOLITION OR NEW CONSTRUCTION ACTIVITIES. COORDINATE LOCATIONS AND REQUIREMENTS WITH OWNER. ALL "BUILDER DESIGNED" SYSTEMS ARE TO MEET ALL APPLICABLE CODES AND REQUIRED STANDARDS. WORK SHALL INCLUDE ALL REQUIRED PERMITS, LABOR MATERIALS, AND EQUIPMENT FOR A COMPLETE PROJECT. INSTALLERS ARE TO PROVIDE ALL REQUIRED DRAWINGS, CODE COMPLIANCE FORMS, CALCULATIONS AND OTHER DOCUMENTATION AS REQUIRED BY ALL THORITIES.
- 7. CONTRACTOR TO PATCH, REPAIR AND PAINT (REFINISH) SURFACES AND BUILDING ELEMENTS DAMAGED BY MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND WHERE ITEMS ARE REMOVED, RELOCATED OR ADDED.
- 8. REPAIR EXISTING FLOORS WHERE DAMAGED BY THE WORKS FOR THIS PROJECT.
 9. PATCH AND REPAIR ALL SURFACES TO MATCH EXISTING WHERE ITEMS ARE REMOVED OR ALTERED FIELD VERIFY EXTENT REQUIRED.
- 10. ALL PAINTING SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT FINISHES AND CLEANUP.

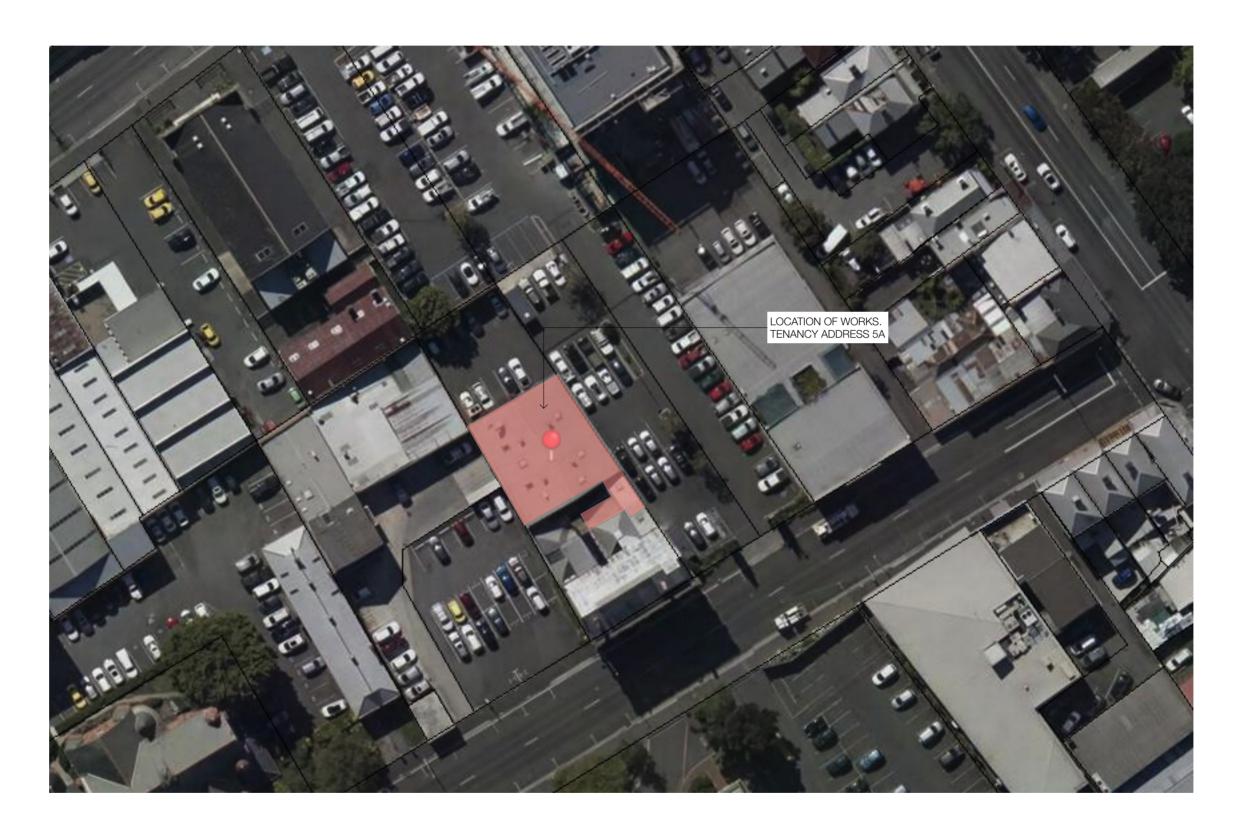
 11. CONTRACTOR IS RESPONSIBLE FOR FINAL CLEANUP OF WORK AREA AND ALL EXPOSED
- BUILDING SURFACES AT PRACTICAL COMPLETION.

 13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO FINISHED SURFACES,
 EQUIPMENT, FURNITURE, EXISTING MATERIALS OR FINISHES, CAUSED AS A RESULT OF HIS
 WORK. REPAIR OR REPLACE DAMAGED ITEMS AS DIRECTED BY ARCHITECT.

 14. ANY EXISTING LANDSCAPING IS TO BE REINSTATED, REPAIRED AND MADE GOOD UPON
- COMPLETION OF WORKS.

 15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, NCC AND
- RELEVANT AUSTRALIAN STANDARDS.

 16. ALL DIMENSIONS ARE IN MM AND ANGLES IN DEGREES UNLESS OTHERWISE NOTED



LOCATION PLAN

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RIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING

READ ALL DRAWINGS IN CONJUNCTION WITH SPECIFICATIONS

mjarchitecture

M: 0438 581 834 T: (03) 6331 5870 E: info@mjarchitecture.com.au www.mjarchitecture.com.au

OJECT

INTERNAL FITOUT / CHANGE OF USE 5A / 20-26 CAMERON STREET, LAUNCESTON

CLIENT

BRENT CAPEL - BALANCED FITNESS

DRAWING

COVER SHEET

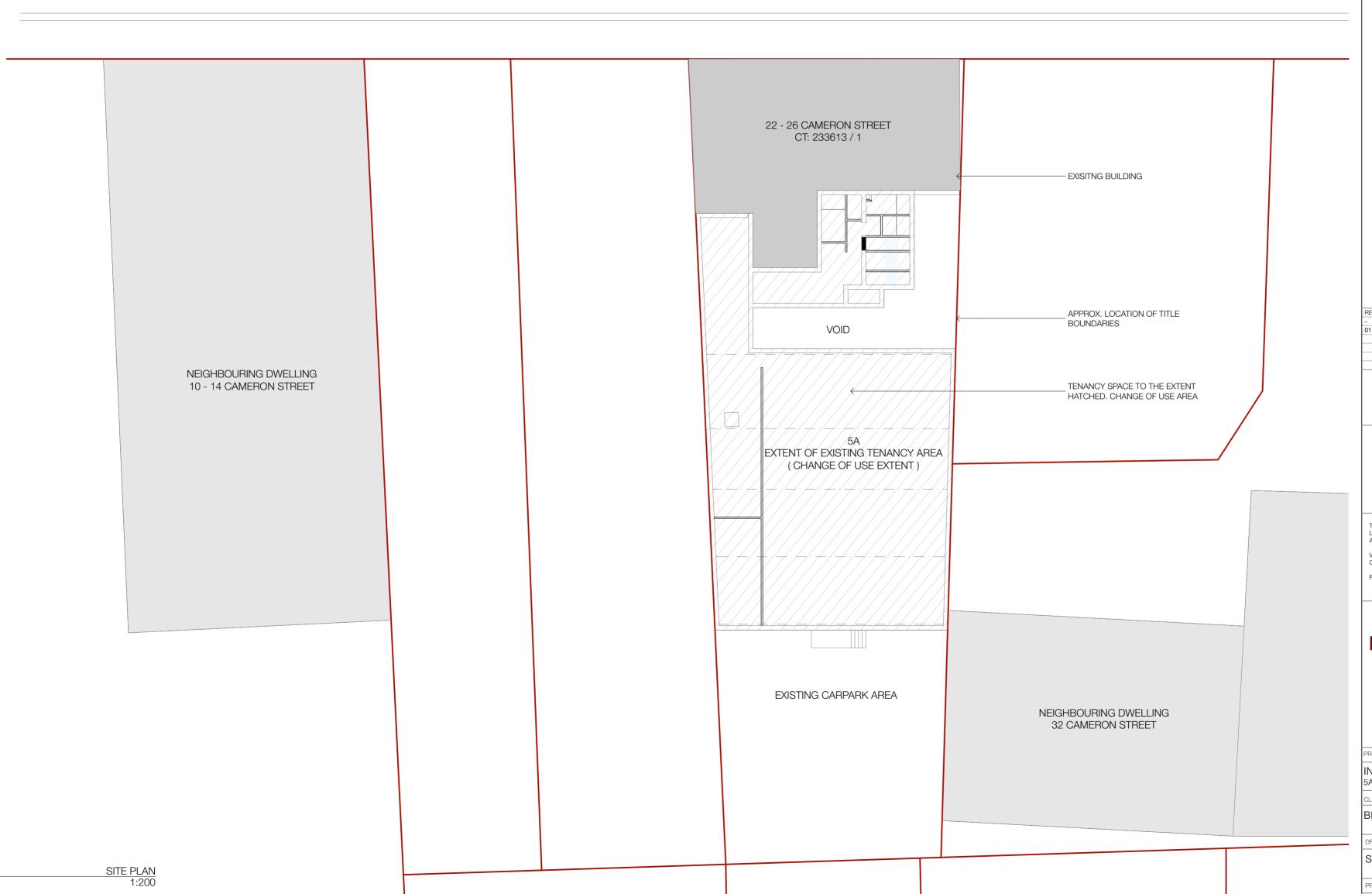
 PROJECT No.
 DATE
 DRAWING No.

 2113
 7/9/21
 D00.00

 APPROVED:
 SHEET SIZE: A2
 REVISION: 01

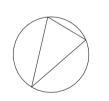


CAMERON STREET



REV	REVISION NAME	DATE
-	DETAIL DESIGN FOR REVIEW	8/9/21
01	ISSUED FOR PLANNING PERMIT	8/9/21

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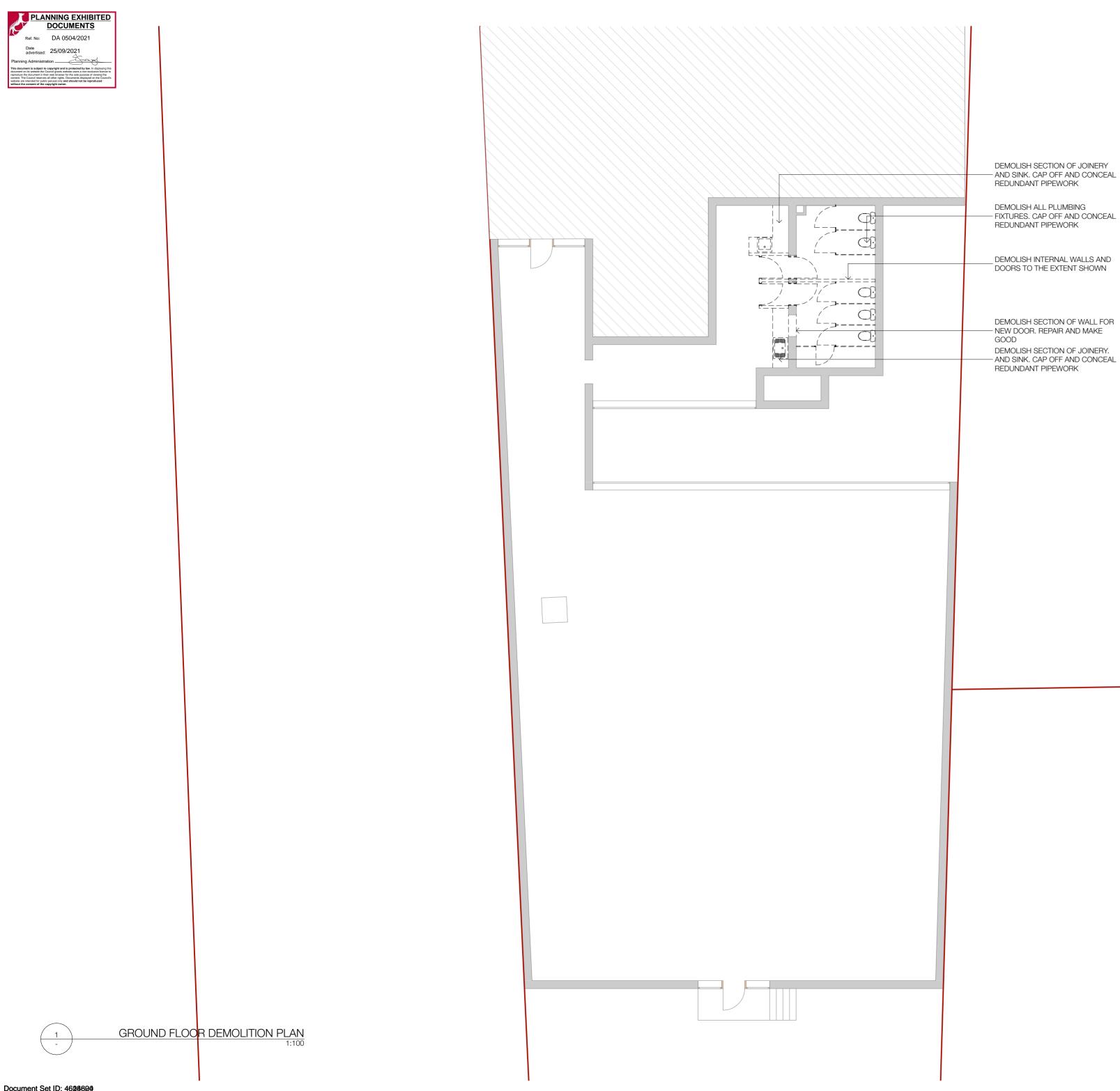
PROJECT

INTERNAL FITOUT / CHANGE OF USE 5A / 20-26 CAMERON STREET, LAUNCESTON

BRENT CAPEL - BALANCED FITNESS

SITE PLAN

PROJECT No.	DATE	DRAWING No.
2113	7/9/21	D01.01
APPROVED:	SHEET SIZE: A2	REVISION: 01



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DEMOLISH SECTION OF WALL FOR NEW DOOR. REPAIR AND MAKE

DEMOLISH SECTION OF JOINERY. — AND SINK. CAP OFF AND CONCEAL

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INTERNAL FITOUT / CHANGE OF USE 5A / 20-26 CAMERON STREET, LAUNCESTON

BRENT CAPEL - BALANCED FITNESS

GROUND FLOOR DEMOLITION PLAN

PROJECT No.	DATE	DRAWING No.
2113	7/9/21	D01.02
APPROVED:	SHEET SIZE: A2	REVISION: 01

Date advertised: 25/09/2021

