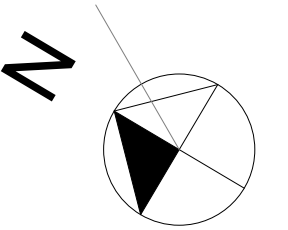




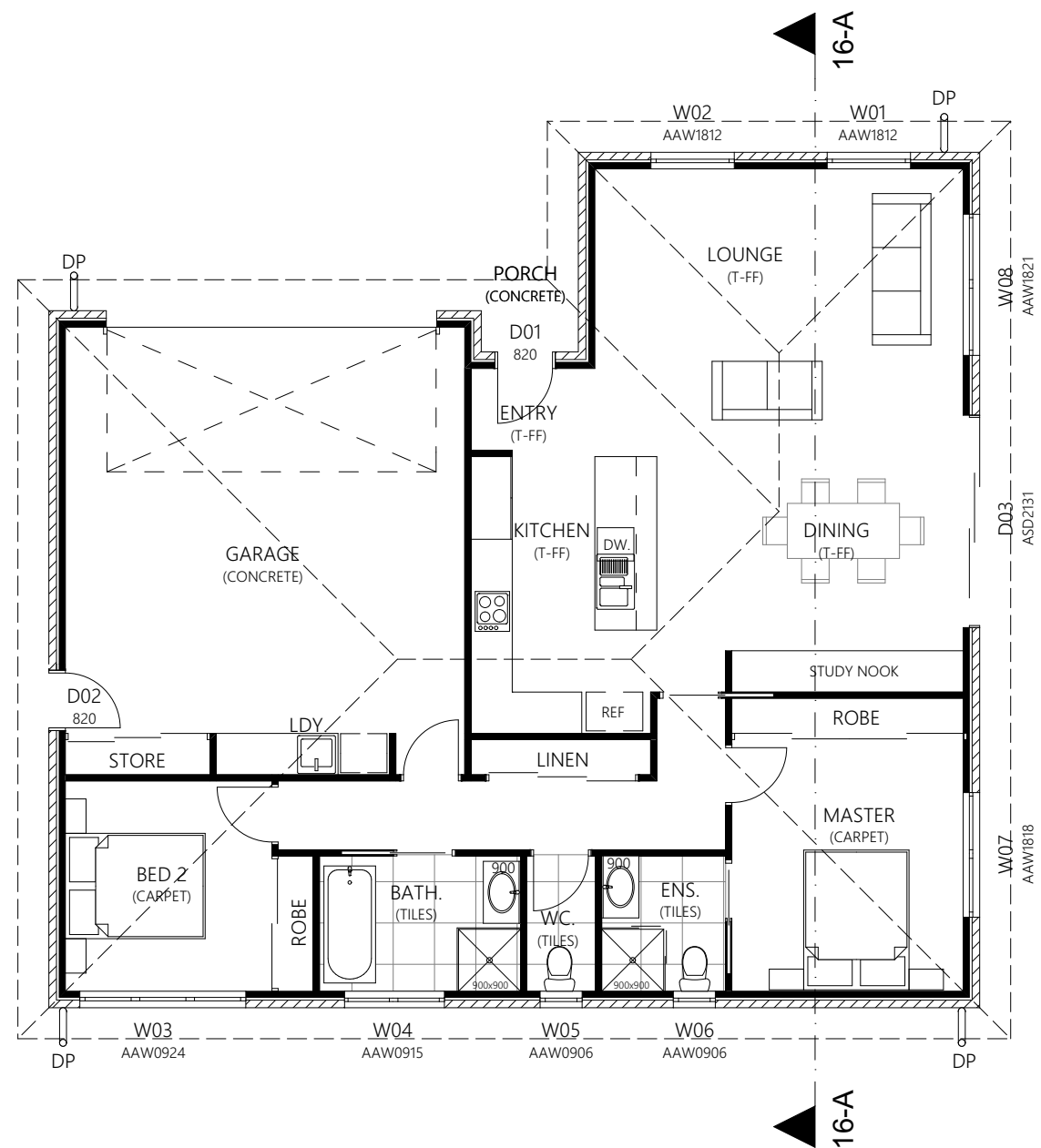
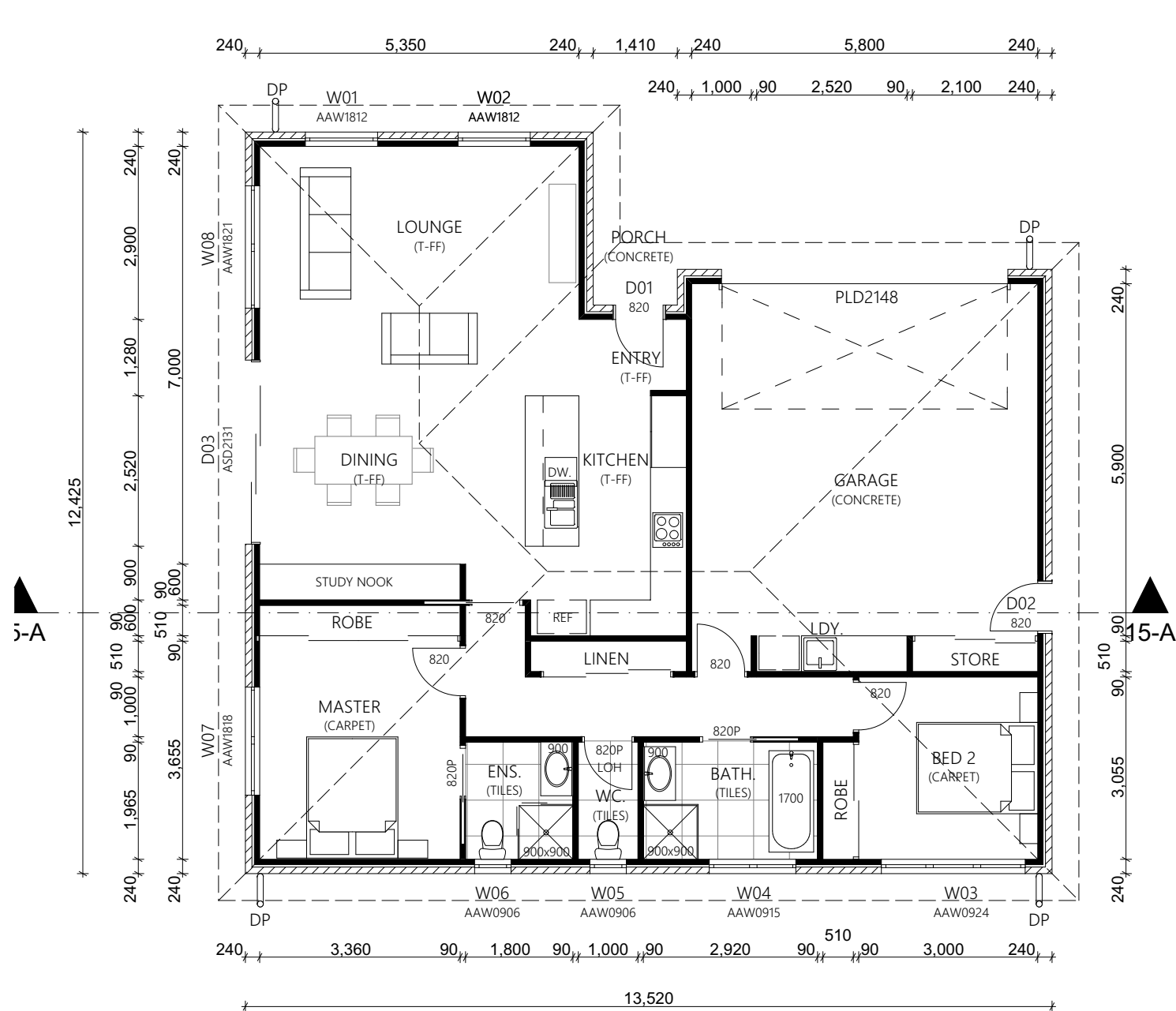
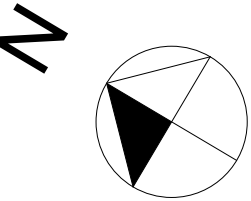
PROPOSED MULTIPLE  
DWELLINGS & FRONT  
FENCE  
14 GILMONT CLOSE,  
KINGS MEADOWS, 7249.

COUNCIL	LCC	ZONE	GENERAL RES.
LAND TITLE REFERENCE	170129/6	PROPERTY ID	3403550
UNIT 1 (M <sup>2</sup> )	150	UNIT 2 (M <sup>2</sup> )	150
DESIGN WIND SPEED	40M/S	SOIL CLASSIFICATION	TBC
LOT SIZE (M <sup>2</sup> )	711	ENERGY STAR RATING	TBC
CLIMATE ZONE	7	BAL RATING	TBC
ALPINE AREA	N/A	CORROSION ENV'	N/A
SITE HAZARDS:		THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL REQUIREMENTS OF LOCAL AUTHORITIES. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE. NO WORK SHOULD COMMENCE UNTIL LOCAL AUTHORITIES HAVE APPROVED THE BUILDING APPLICATION. THE DESIGNER DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION OR INTERPRETATION. ALL WORK SHOULD BE IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERS CERTIFICATES. CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.	

DRAWING #	DRAWING
GLMN14-01	COVER PAGE
GLMN14-02	SITE PLAN
GLMN14-03	GROUND PLAN
GLMN14-04	SET OUT PLAN
GLMN14-05	EXTERNAL SERVICES
GLMN14-06	DRAINAGE PLAN
GLMN14-07	INTERIOR PLUMBING
GLMN14-08	ELECTRICAL/CEILING PLAN
GLMN14-09	ROOF PLAN
GLMN14-10	ELEVATIONS NORTH/SOUTH - UNIT 1
GLMN14-11	ELEVATIONS EAST/WEST - UNIT 1
GLMN14-12	ELEVATIONS NORTH/SOUTH - UNIT 2
GLMN14-13	ELEVATIONS EAST/WEST - UNIT 2
GLMN14-14	ELEVATIONS UNIT 1&2 / FRONT FENCE
GLMN14-15	SECTION 15 A-A
GLMN14-16	SECTION 16 A-A
GLMN14-17	DETAILS
GLMN14-18	WINDOW AND DOOR SCHEDULES
GLMN14-19	CONSTRUCTION NOTES 1
GLMN14-20	CONSTRUCTION NOTES 2
GLMN14-21	PARKING PLAN
GLMN14-22	PARKING & LANDSCAPE PLAN



REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	GLMN14
R1	03/05/2018	CONCEPT	DRAWN	W.M.	DRAWING	2/22
R2	20/08/2018	LANDSCAPE MODS.				
			CHECKED	M.L.	SCALE (@A3)	1: 200



NOTE:  
UNIT 2 FLOOR PLAN MIRRORED  
(150m2 PER UNIT)



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**Client/s:**  
P & A HARTLEY

**Site Address:**  
14 GILMONT CLOSE,  
KINGS MEADOWS, 7249.

**DRAWING**  
**GROUND**  
**PLAN**

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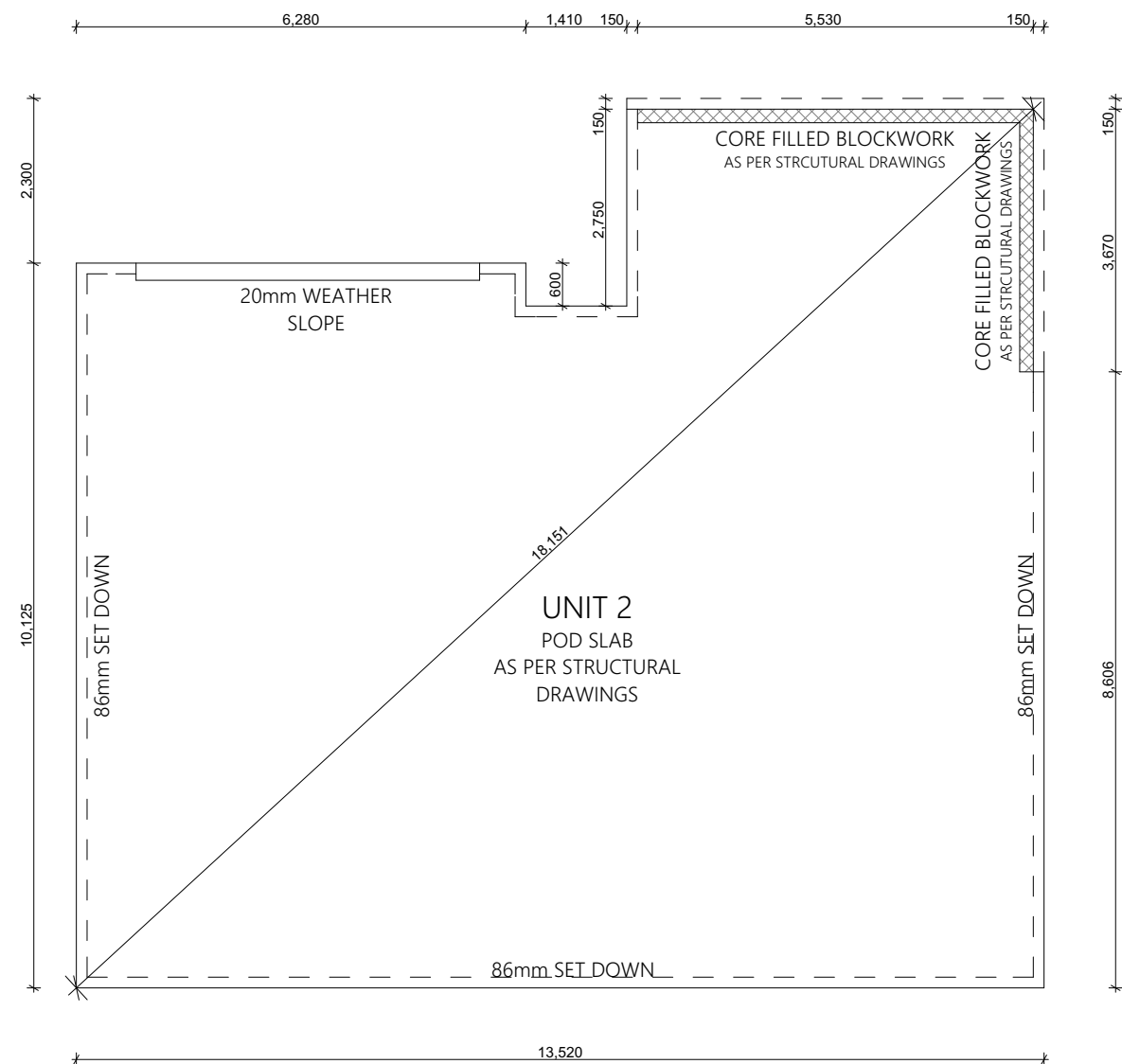
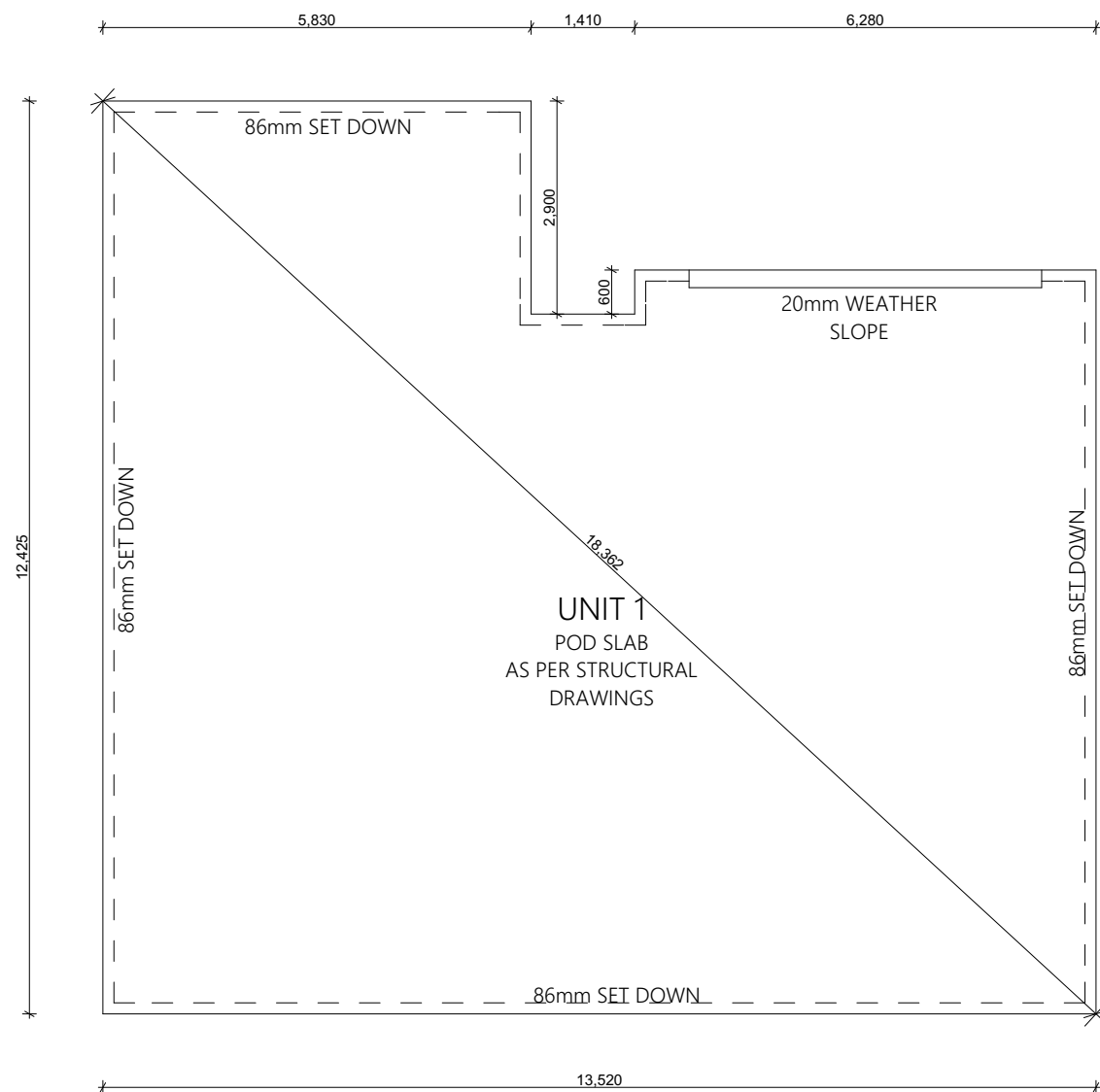
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R1	03/05/2018	CONCEPT				
R2	20/08/2018	LANDSCAPE MODS.	<b>DRAWN</b>	W.M.	<b>DRAWING</b>	<b>3/22</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:100</b>



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**DRAWING  
SET OUT  
PLAN**

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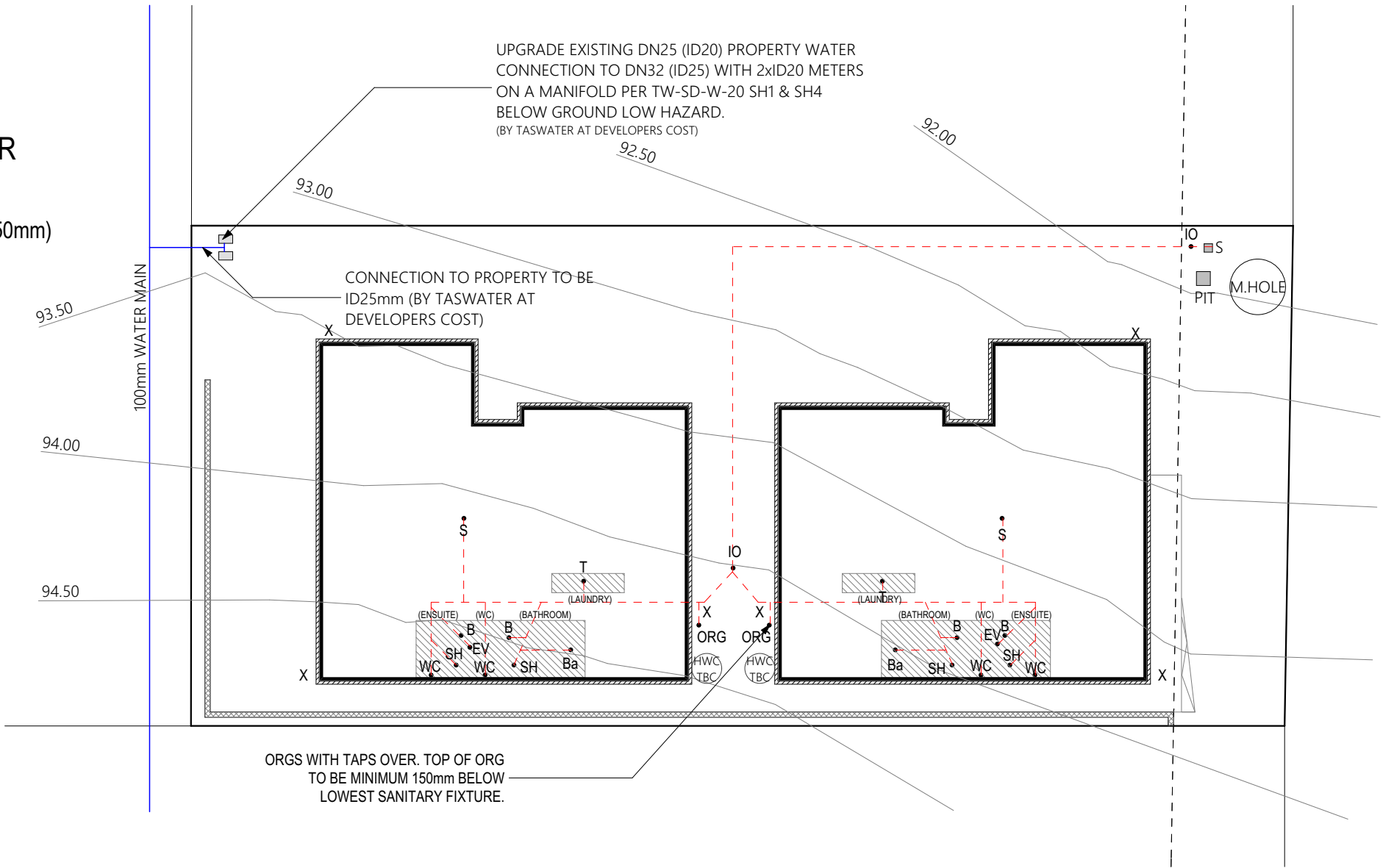
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	GLMN14
R1	03/05/2018	CONCEPT				
R2	20/08/2018	LANDSCAPE MODS.	<b>DRAWN</b>	W.M.	<b>DRAWING</b>	<b>4/22</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:100</b>



LEGEND

- B - BASIN
- Ba - BATH
- S - SINK (65Ø)
- T - LAUNDRY TUB (65Ø)
- SH - SHOWER
- WC - WATER CLOSET
- FW - FLOOR WASTE
- EV - VENT (THROUGH TO ROOF)
- IO - INSPECTION OPENING
- RE - RODDING EYE
- HW - HOT WATER CYLINDER
- X - EXTERNAL TAP
- P - DRAINAGE PIT (450mm X 450mm)
- DP - DOWNPIPE (90 Ø)

- WET AREAS
- STORMWATER LINE (100mm PVC)
- SEWER LINE (100mm PVC)



INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

**SERVICES**  
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:  
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND  
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND  
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:


**1. INTERNAL PIPING**  
a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-  
i)WITHIN AN UNVENTILATED WALL SPACE  
ii)WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR  
iii) BETWEEN CEILING INSULATION AND A CEILING  
MUST HAVE A MINIMUM R-VALUE OF 0.2

**2.PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE**  
a) ALL FLOW AND RETURN PIPING  
b)COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

**3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE**  
a)ALL FLOW AND RETURN PIPING  
b)COLD WATER SUPPLY PIPIONG AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS - 3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.



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Document Set ID: 3869146  
Version: 1, Version Date: 20/08/2018

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P & A HARTLEY

**Site Address:**  
14 GILMONT CLOSE,,  
KINGS MEADOWS, 7249.

**DRAWING**  
**EXTERNAL**  
**SERVICES**

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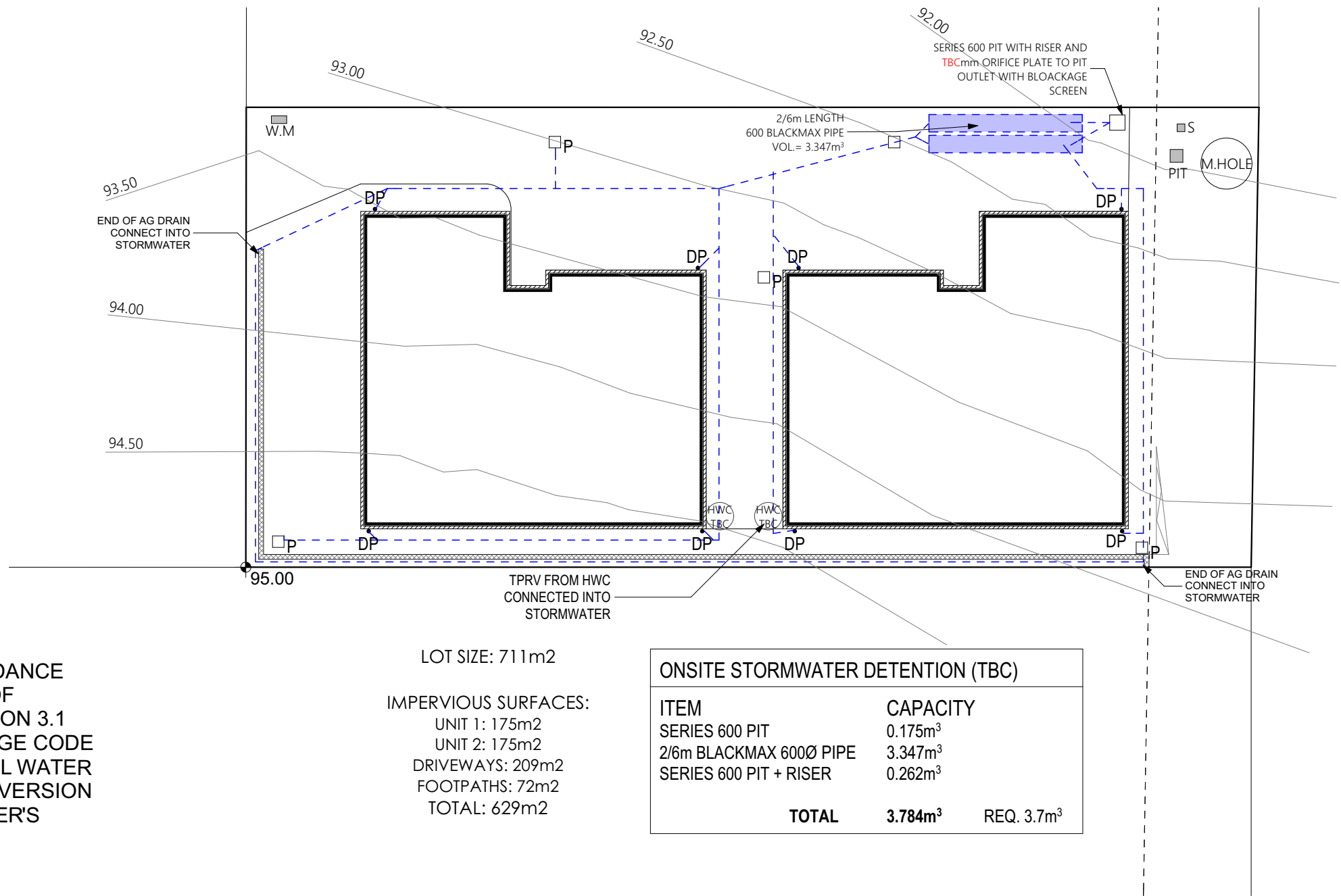
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	GLMN14
R1	03/05/2018	CONCEPT	DRAWN	W.M.	DRAWING	5/22
R2	20/08/2018	LANDSCAPE MODS.				
			CHECKED	M.L.	SCALE (@A3)	1:200

- LEGEND**
- IO - INSPECTION OPENING
  - RE - RODDING EYE
  - P - DRAINAGE PIT (450mm X 450mm)
  - DP - DOWNPIPE (90Ø)

— — STORMWATER LINE  
(100mm PVC)

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.



ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 VERSION 3.1 MRWA EDITION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES.

LOT SIZE: 711m2


IMPERVIOUS SURFACES:

- UNIT 1: 175m2
- UNIT 2: 175m2
- DRIVEWAYS: 209m2
- FOOTPATHS: 72m2
- TOTAL: 629m2

ONSITE STORMWATER DETENTION (TBC)		
ITEM	CAPACITY	
SERIES 600 PIT	0.175m³	
2/6m BLACKMAX 600Ø PIPE	3.347m³	
SERIES 600 PIT + RISER	0.262m³	
TOTAL	3.784m³	REQ. 3.7m³

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**NOTE:**  
ONSITE STORMWATER DETENTION TO BE CONFIRMED BY HYDROLIC ENGINEER



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**Client/s:**  
P & A HARTLEY

**Site Address:**  
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**DRAWING**

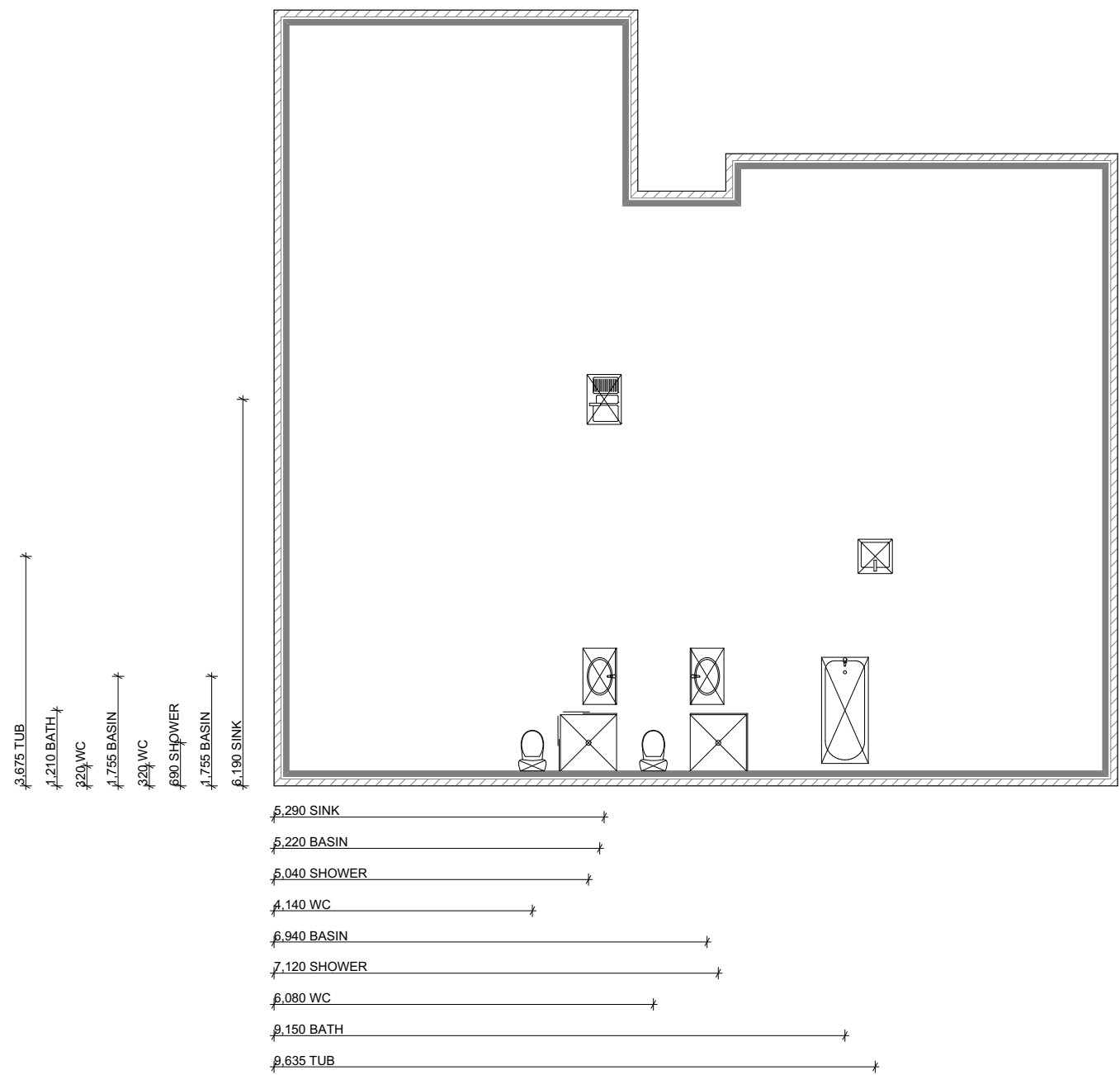
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UNIT 1

NOTE: UNIT 2 FLOOR PLAN MIRRORED

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AND IS SUBJECT TO AMENDMENT TO COMPLY WITH  
LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH  
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**DRAWING**  
**INTERIOR**  
**PLUMBING**

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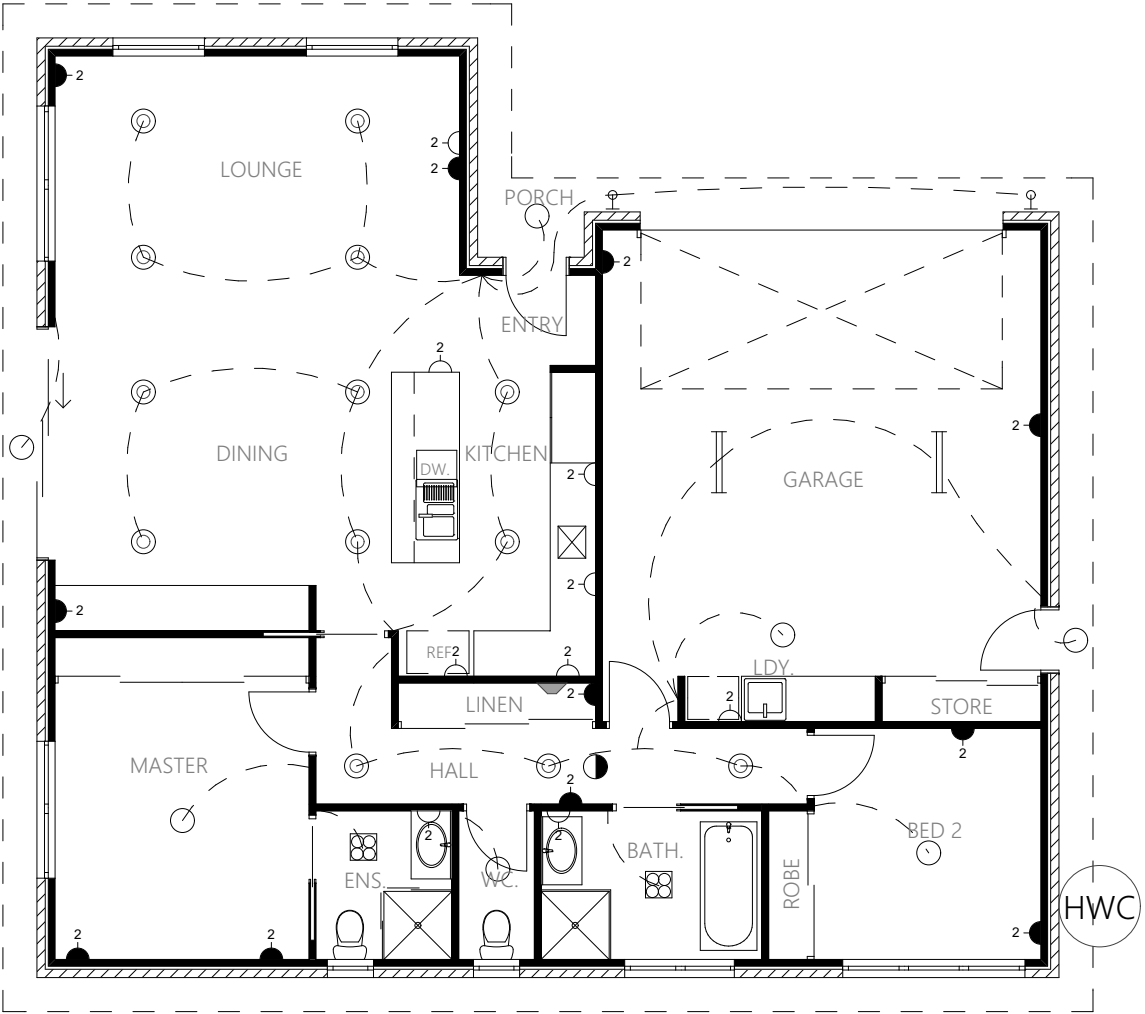
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R2	20/08/2018	LANDSCAPE MODS.				
			CHECKED	M.L.	SCALE (@A3)	1:100

ELECTRICAL LEGEND	
	DOWNLIGHT (LED)
	CEILING LIGHT (BATTEN HOLD)
	SINGLE GPO 1050 OFF FLOOR
	SINGLE GPO 300 OFF FLOOR
	DOUBLE GPO 1050 OFF FLOOR
	DOUBLE GPO 300 OFF FLOOR
	SMOKE DETECTOR
	2 GLOBE HEAT, FAN, LIGHT
	4 GLOBE HEAT, FAN, LIGHT
	PHONE OUTLET 300 OFF FLOOR
	PHONE OUTLET 1050 OFF FLOOR
	TV OUTLET
	EXHAUST FAN
	METER BOX
	EXTERNAL LIGHT
	FLUORESCENT LIGHT SINGLE
	FLUORESCENT LIGHT DOUBLE
	RANGEHOOD EXHAUST FAN
	MOTION/DAY LIGHT SENSOR
	ETHERNET OUTLET
	DATA HUB



UNIT 1

NOTE: UNIT 2 FLOOR PLAN MIRRORED

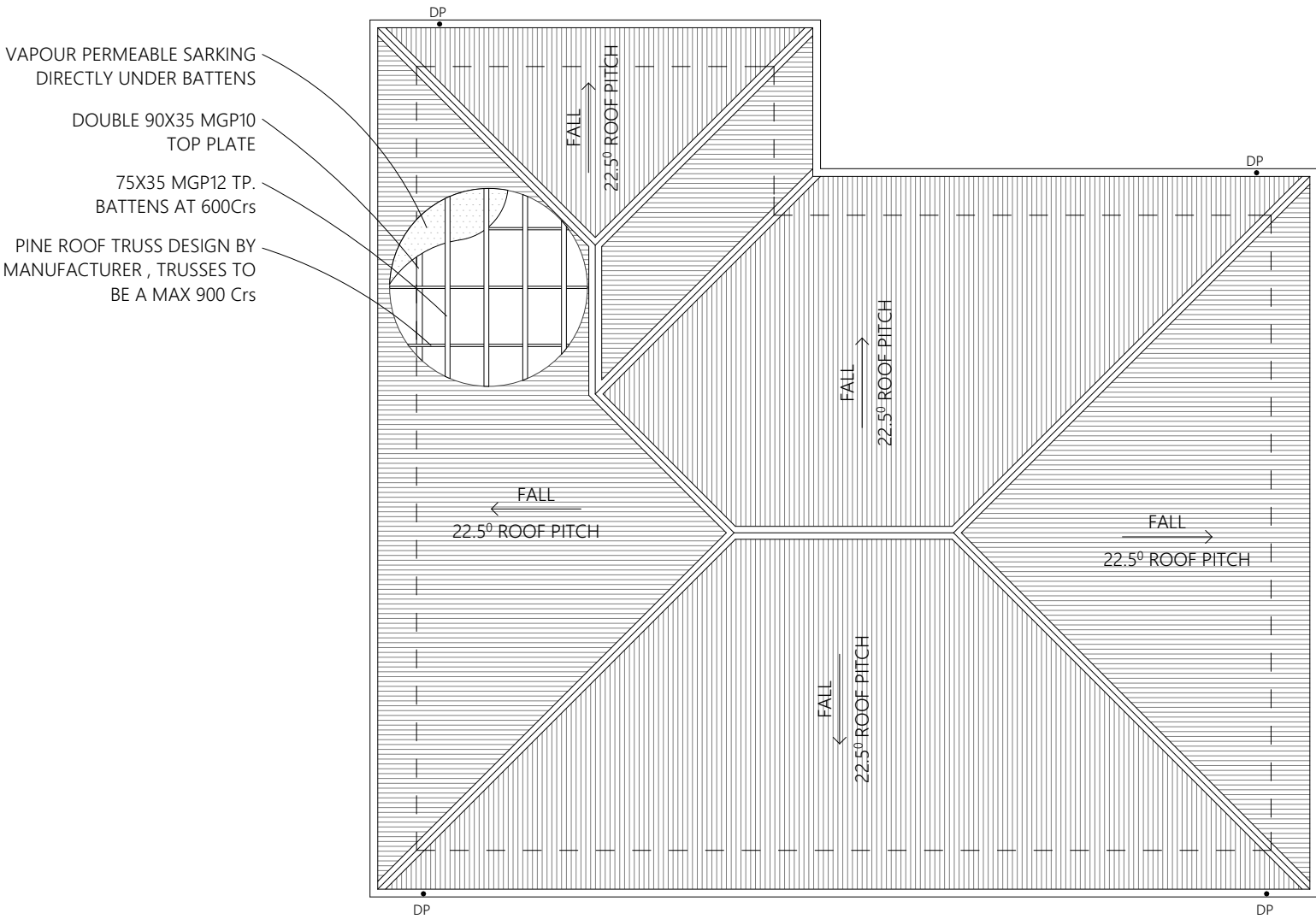
ELECTRICAL LAYOUT  
TO BE CONFIRMED  
ON SITE BY CLIENT  
WITH ELECTRICIAN

NCC V.2 3.12.5.5 ARTIFICIAL LIGHTING		
MAX ILLUMINATION POWER DENSITY ROOM ALLOWANCES		
ROOM	AREA (M <sup>2</sup> )	MAX IPD (W)
LOUNGE	16.00	80.00
DINING/KITCHEN	33.00	165.00
ENTRY/HALL	10.00	50.00
MASTER	12.00	60.00
BED 2	9.00	45.00
BATHROOM	6.00	30.00
WC	2.00	10.00
ENSUITE	4.00	20.00
GARAGE/LAUNDRY	38.00	152.00
PORCH	1.00	5.00

(HEAT LAMPS NOT INCLUDED IN MAX IPD)

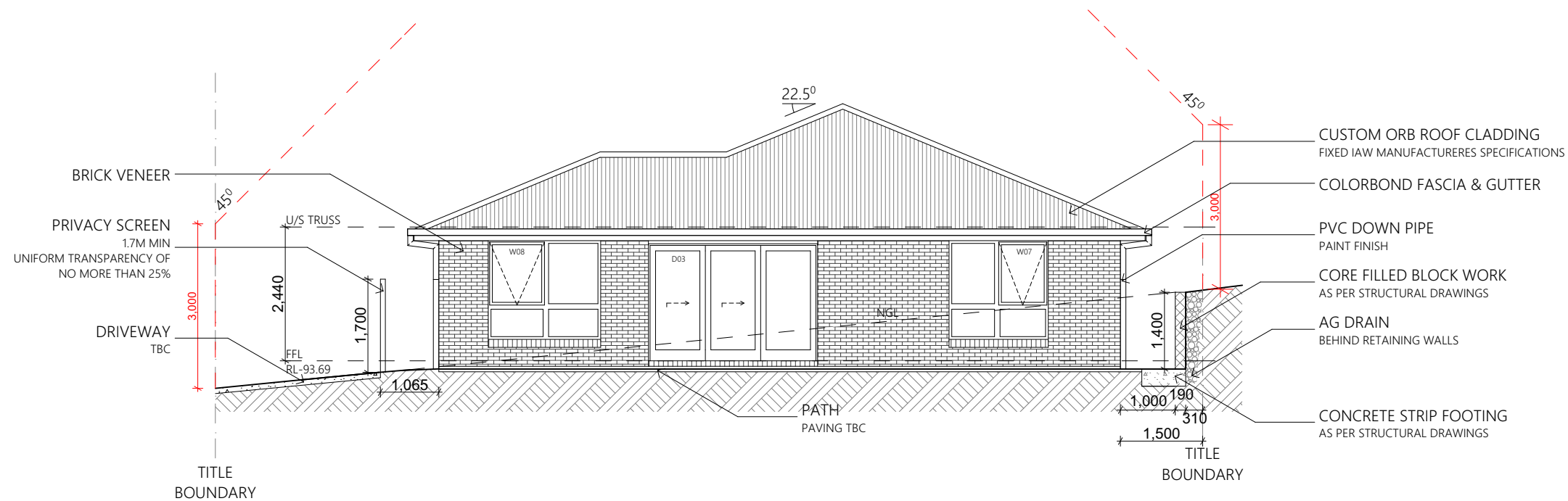
NOTE:  
-SMOKE ALARMS TO BE INTERLINKED  
-DRYER TO BE DUCTED OUTSIDE



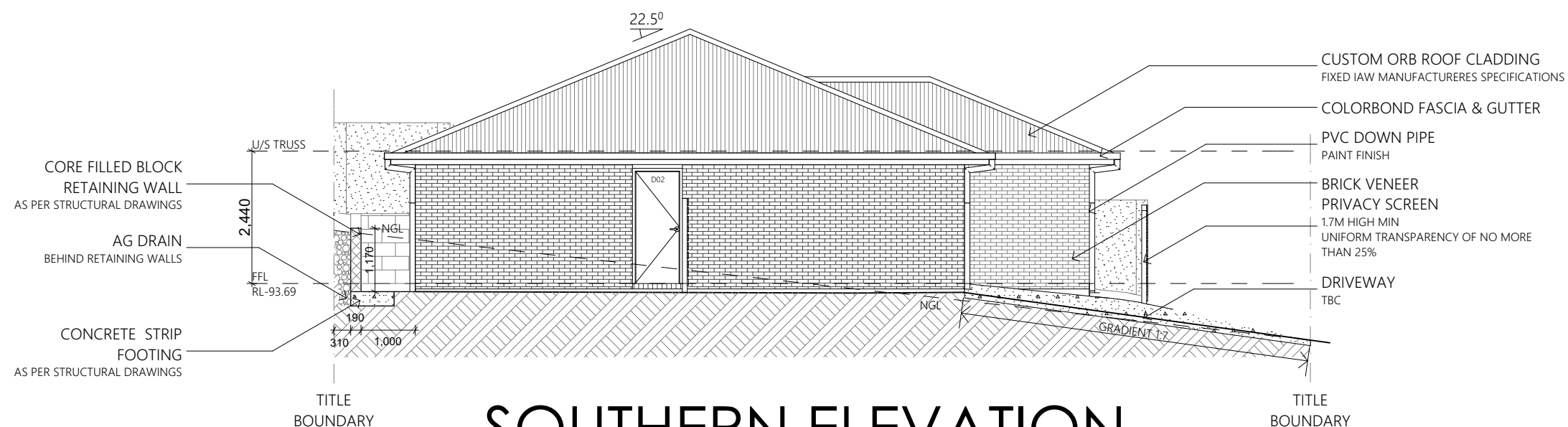


UNIT 1

NOTE: UNIT 2 FLOOR PLAN MIRRORED



## NORTHERN ELEVATION



## SOUTHERN ELEVATION



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14 GILMONT CLOSE,  
KINGS MEADOWS, 7249.

**DRAWING  
ELEVATIONS  
UNIT 1**

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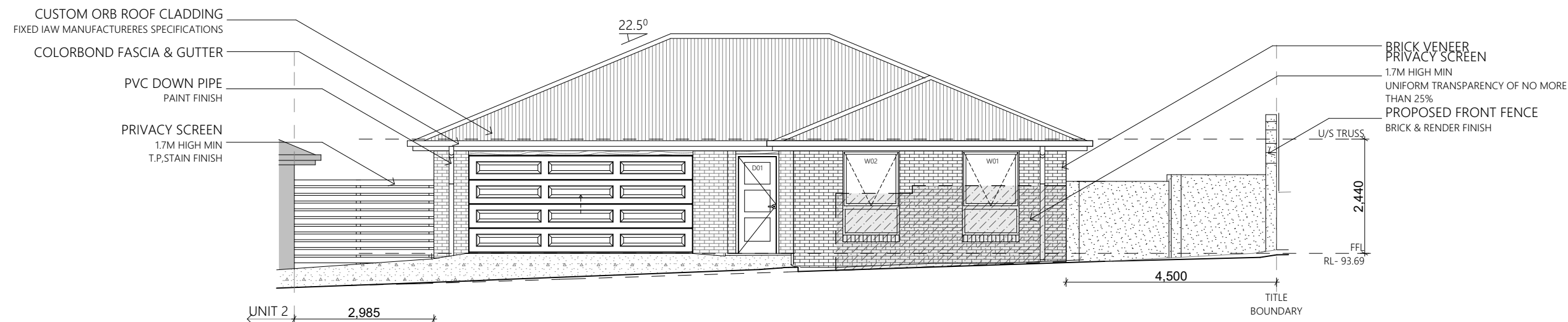
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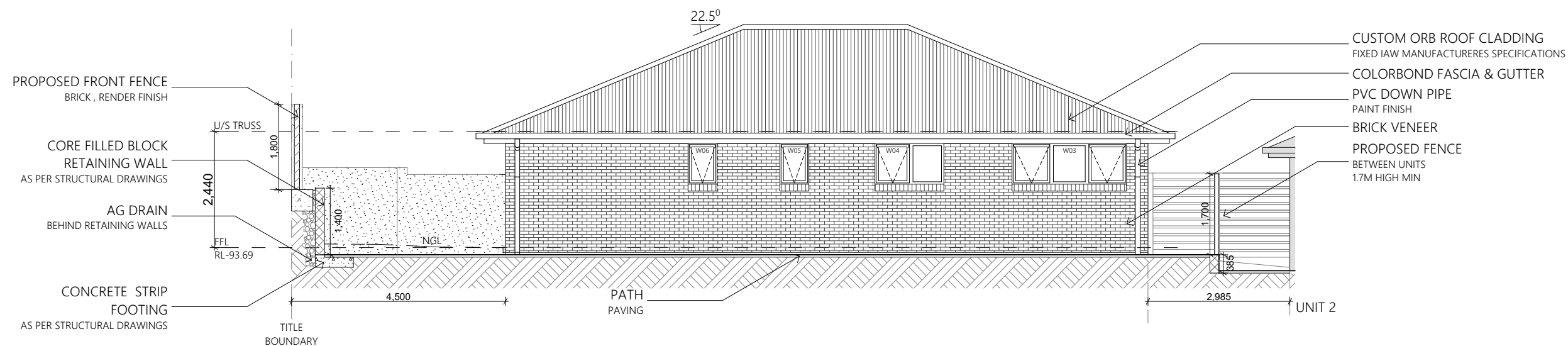
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R2	20/08/2018	LANDSCAPE MODS.	<b>DRAWN</b>	W.M.	<b>DRAWING</b>	<b>10/22</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:100</b>



## EASTERN ELEVATION



## WESTERN ELEVATION



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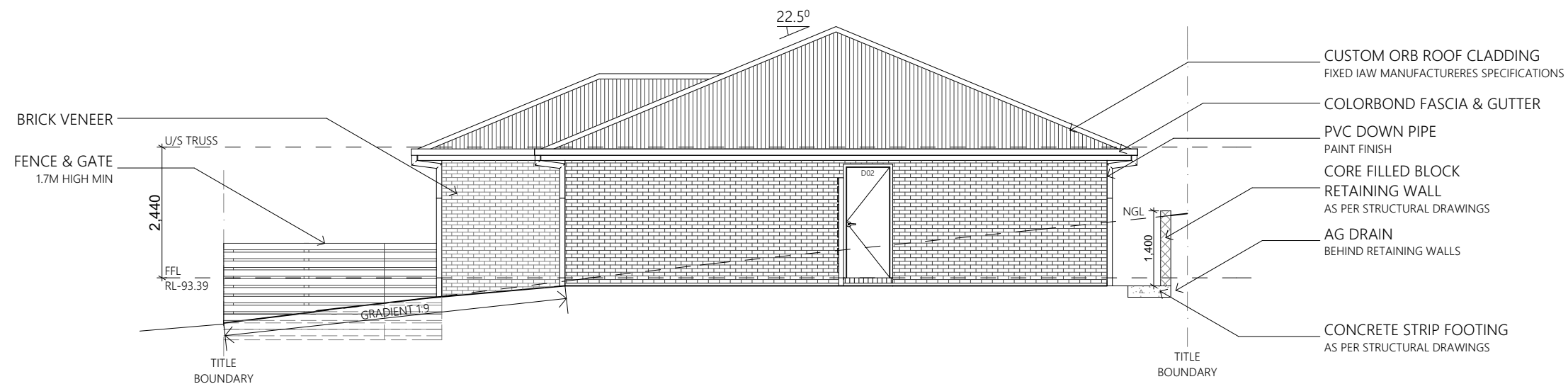
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**DRAWING**  
**ELEVATIONS**  
**UNIT 1**

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R1	03/05/2018	CONCEPT				
R2	20/08/2018	LANDSCAPE MODS.	<b>DRAWN</b>	W.M.	<b>DRAWING</b>	<b>11/22</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:100</b>



## NORTHERN ELEVATION



## SOUTHERN ELEVATION



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KINGS MEADOWS, 7249.

**DRAWING**  
**ELEVATIONS**  
**UNIT 2**

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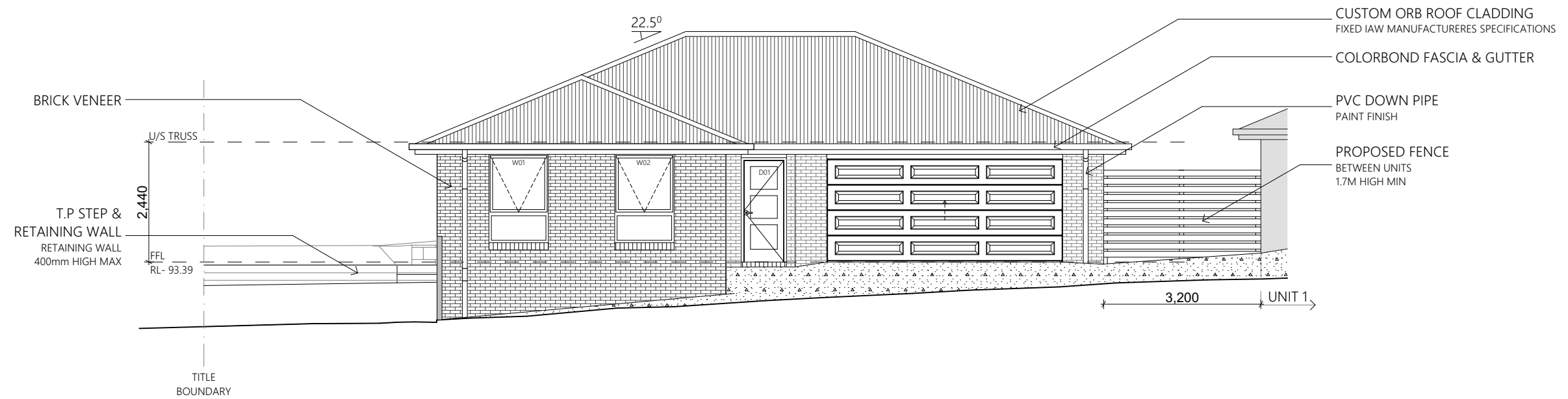
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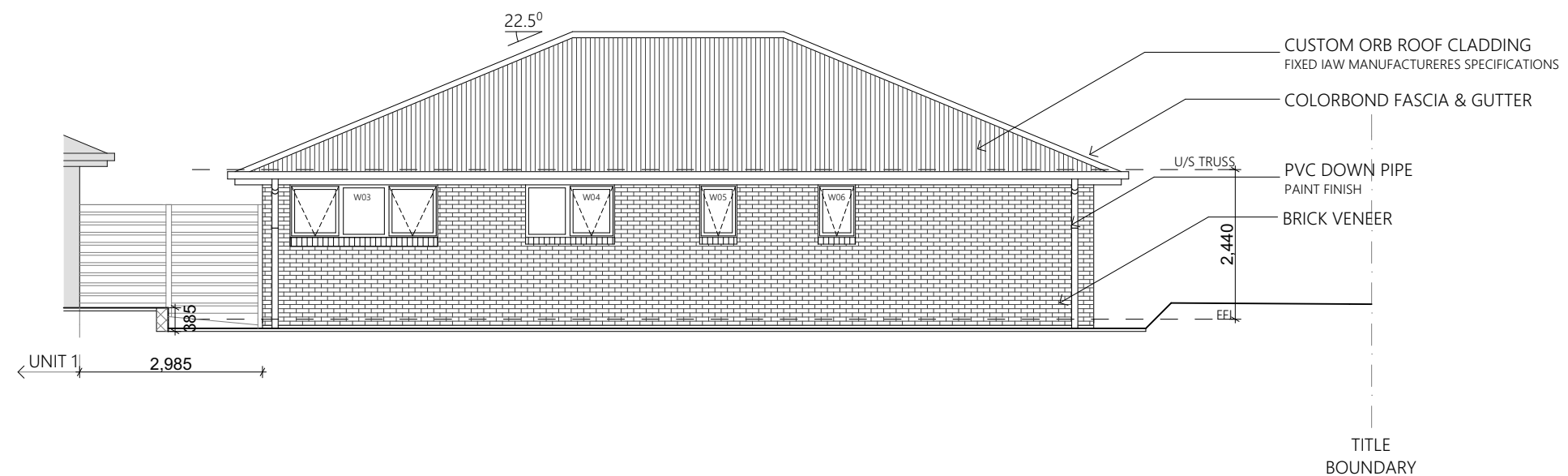
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R2	20/08/2018	LANDSCAPE MODS.	<b>DRAWN</b>	W.M.	<b>DRAWING</b>	<b>12/22</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:100</b>



## EASTERN ELEVATION



## WESTERN ELEVATION



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**Client/s:**  
P & A HARTLEY

**Site Address:**  
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KINGS MEADOWS, 7249.

**DRAWING**  
**ELEVATION**  
**UNIT 2**

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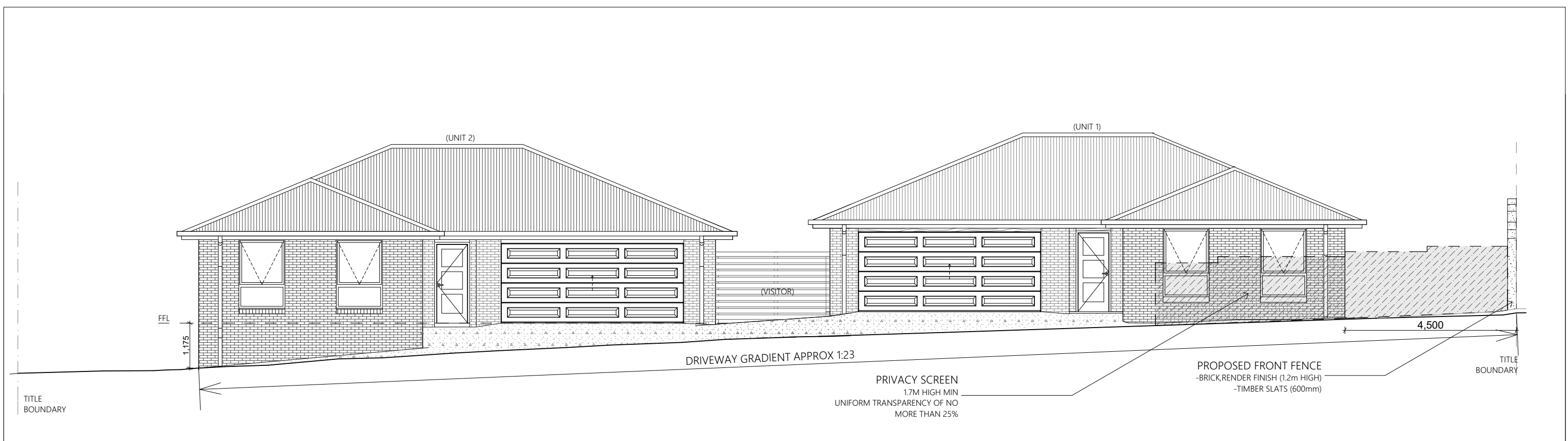
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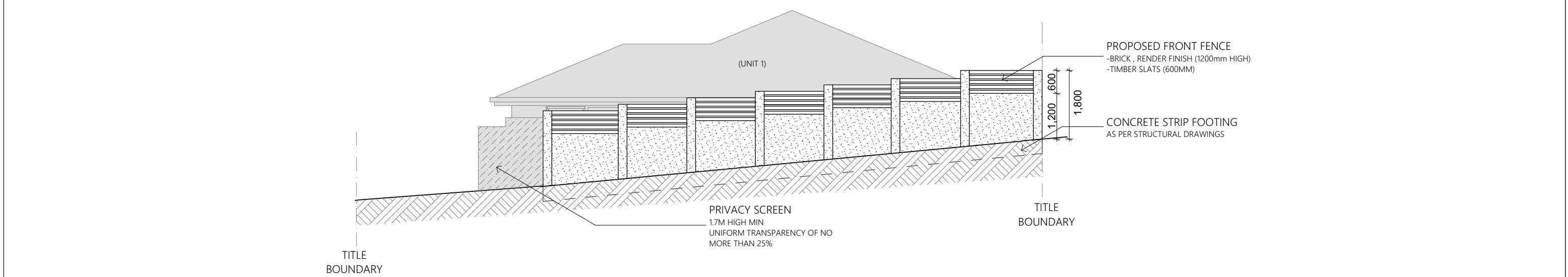
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R2	20/08/2018	LANDSCAPE MODS.	<b>DRAWN</b>	W.M.	<b>DRAWING</b>	<b>13/22</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:100</b>

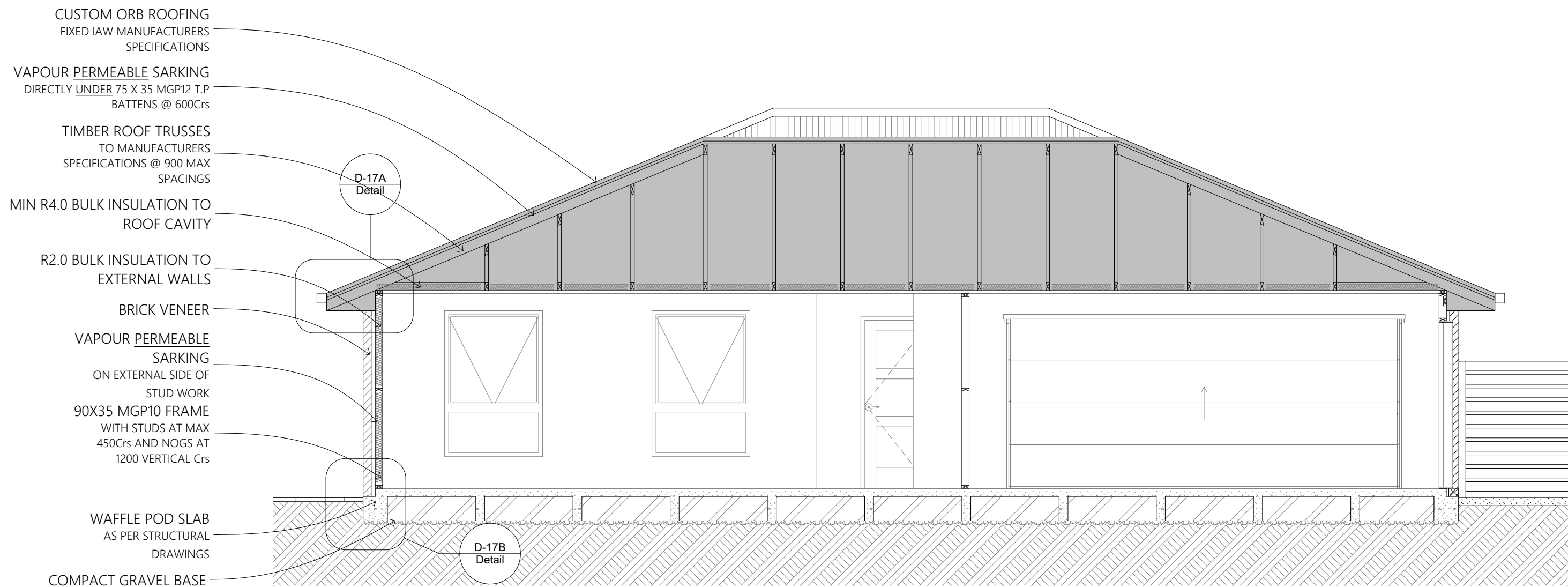




UNIT 1 & 2 ELEVATION



FRONT FENCE ELEVATION



## SECTION 15 A-A



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**Client/s:**  
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**DRAWING**  
**SECTION**  
**15A-A**

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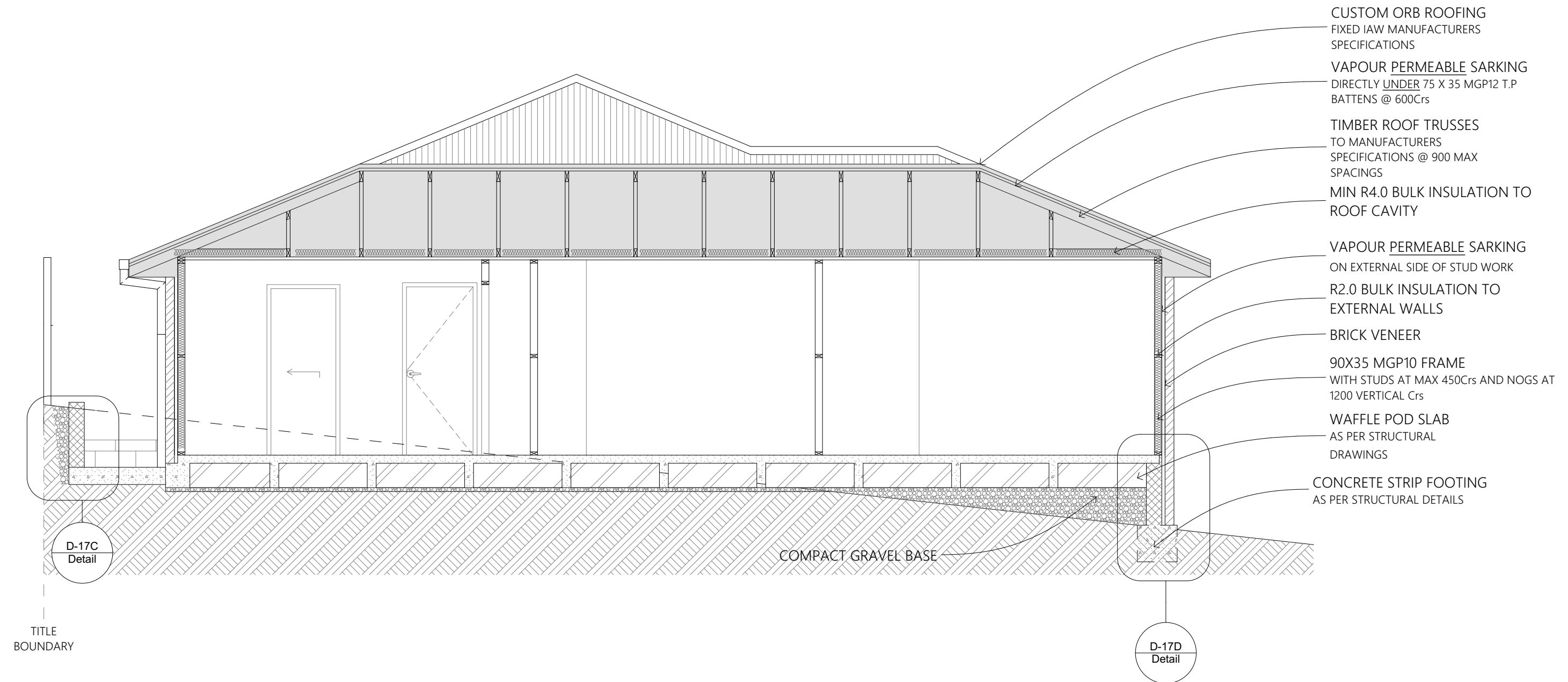
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## SECTION 16 A-A



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**Site Address:**  
14 GILMONT CLOSE,,  
KINGS MEADOWS, 7249.

**DRAWING**  
**SECTION**  
**16A-A**

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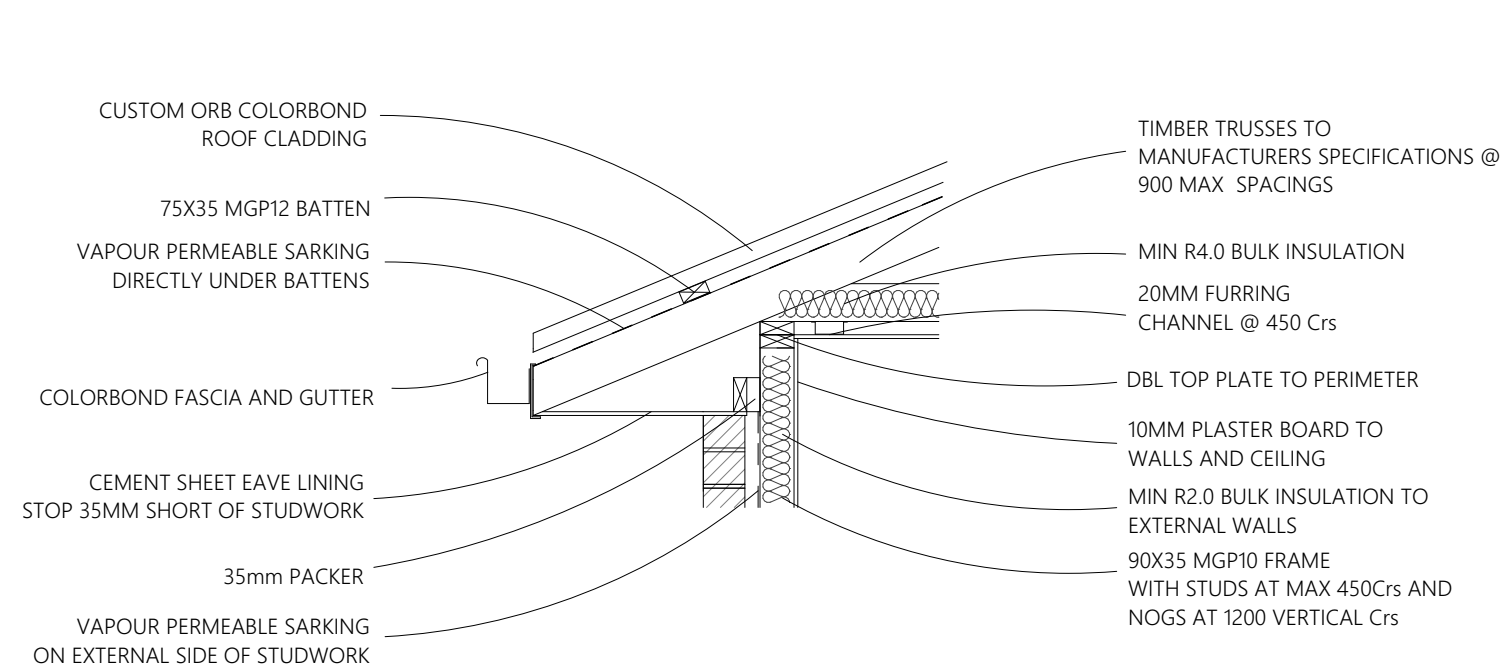
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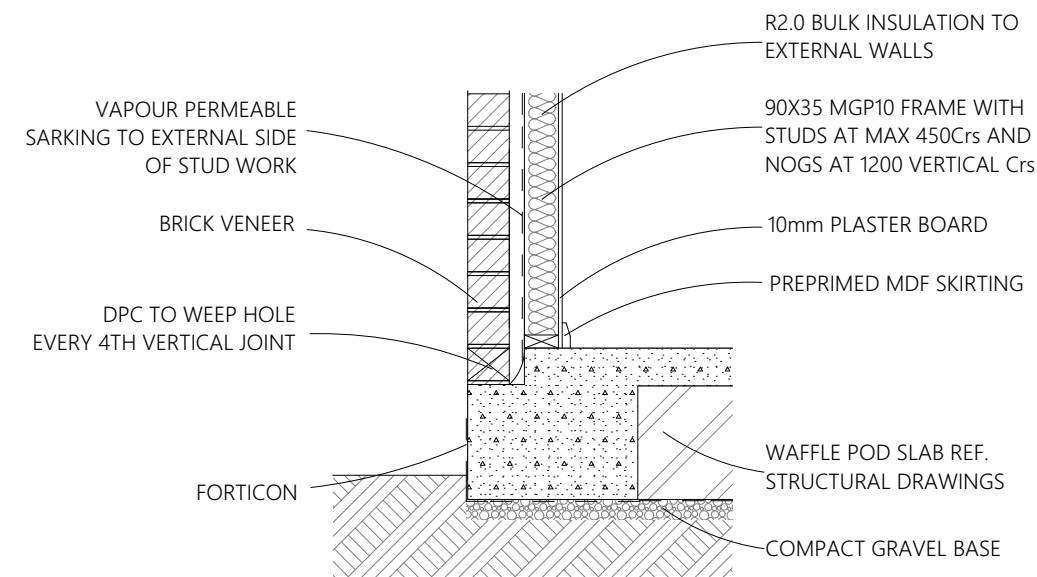
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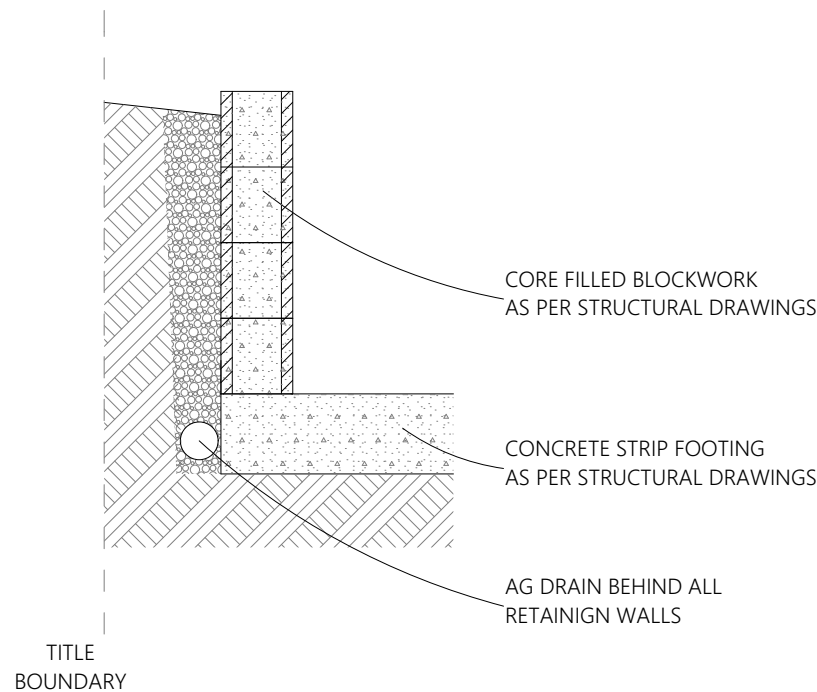
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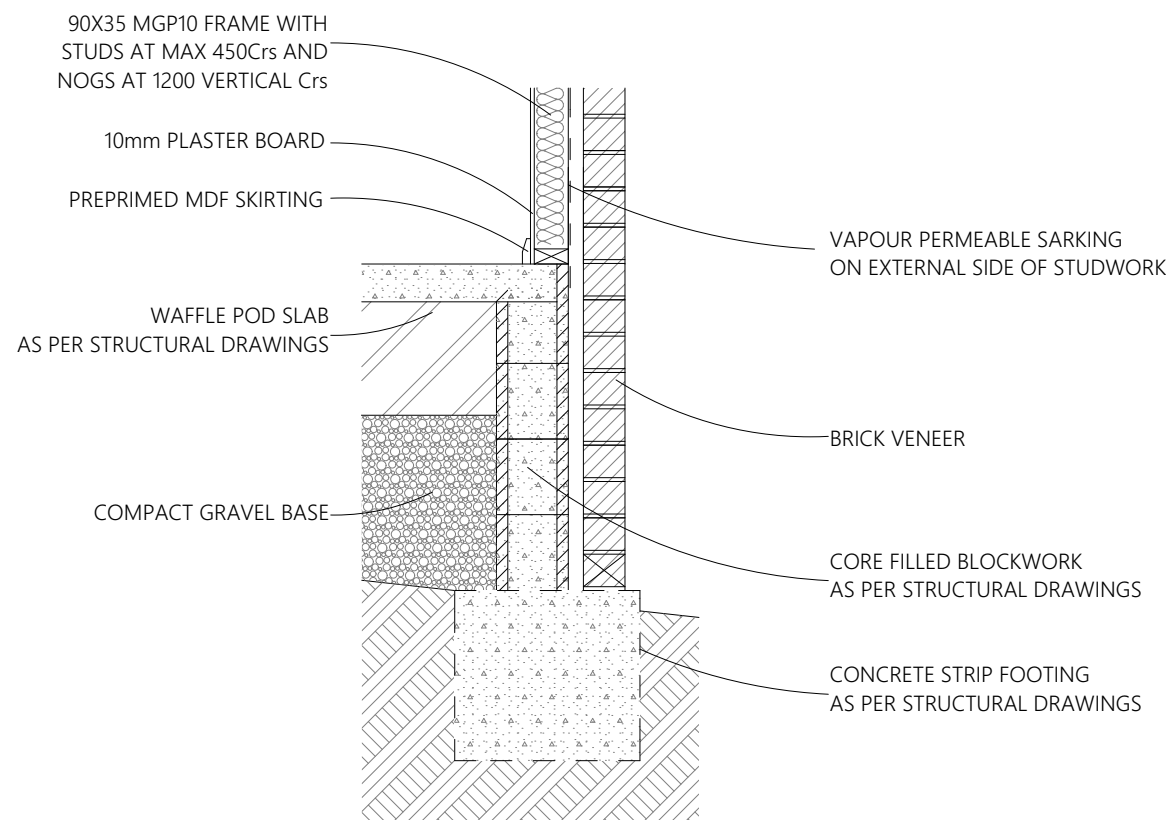
DETAIL 17-A



DETAIL 17-B



DETAIL 17-C



DETAIL 17-D

GROUND FLOOR WINDOW SCHEDULE

NUMBER	HEIGHT	WIDTH	TYPE	AREA <sub>(M2)</sub>	OPENING	GLASS	MATERIAL	NOTES
W01	1800	1210	AWNING	2.18	66%	DBL CLEAR	ALUMINIUM	
W02	1800	1210	AWNING	2.18	66%	DBL CLEAR	ALUMINIUM	
W03	857	2410	AWNING	2.07	66%	DBL CLEAR	ALUMINIUM	
W04	857	1450	AWNING	1.24	50%	DBL CLEAR	ALUMINIUM	
W05	857	610	AWNING	0.52	100%	DBL CLEAR	ALUMINIUM	
W06	857	610	AWNING	0.52	100%	DBL CLEAR	ALUMINIUM	
W07	1800	1810	AWNING	3.26	33%	DBL CLEAR	ALUMINIUM	
W08	1800	2050	AWNING	3.69	33%	DBL CLEAR	ALUMINIUM	
TOTAL				15.66M <sup>2</sup>				

WINDOWS

WINDOWS ARE POWDER COATED ALUMINUM.  
ALL FLASHINGS AND FIXINGS TO MANUFACTURERS SPERCIFICATIONS.  
DIMENSIONS SHOWN IN SCHEDULE FOR THESE WINDOWS ARE NOMINAL ONLY.  
REFER TO MANUFACTURES SCHEDULE TO CONFIRM SIZES

ALL WINDOW FRAMING TO BE IN COMPLIANCE WITH AS2047 (WINDOWS IN BUILDING - SELECTION AND INSTALLATION)  
ALL GLAZING TO BE IN COMPLIANCE WITH AS1288 AND NCC VOL.2 PART 3.6.

ANY BEDROOM WINDOWS WITH A FALL HEIGHT OF OVER 2M, MUST HAVE A RESTRICTED OPENING OF MAX 125MM

DOOR SCHEDULE

NUMBER	HEIGHT	WIDTH	TYPE	AREA <sub>(M2)</sub>	OPENING	GLASS	FRAME MATERIAL	JAMB MATERIAL	NOTES
D01	2100	820	SWINGING	1.72	100%	TBC	ALUMINIUM	ALUMINIUM	
D02	2100	820	SWINGING	1.72	100%	TBC	ALUMINIUM	ALUMINIUM	
D03	2100	3100	SLIDING	6.51	66%	DBL CLEAR	ALUMINIUM	ALUMINIUM	
TOTAL				9.95M <sup>2</sup>					

DOORS

GARAGE TO HAVE REMOTE CONTROL PANEL LIFT DOOR AT THE DIMENSIONS NOTED ON PLAN

ENTRY DOOR - AS PER PER BUILDERS INCLUSION LIST

ALL INTERNAL DOORS TO BE REDICOTE HARD BOARD, HONEYCOMB CORE, AT THE WIDTH NOTED ON PLANS.  
GARAGE INTERNAL DOOR TO BE SOILD CORE

EXTERNAL DOORS TO BE TEMPERED HARDBOARD WITH SOLID CORE, AT THE WIDTH NOTED ON PLANS.

ALL ROBE DOORS TO BE AS PER BUILDERS INCLUSIONS LIST



DO NOT SCALE DRAWINGS  
ALL DIMENSIONS IN MILLIMETERS, UNLESS OTHERWISE SPECIFIED.  
CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK.  
ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.  
ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE (NCC) AND AUSTRALIAN STANDARDS.  
ENGINEER'S SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.  
ALL PLUMBING AND DRAINAGE TO COMPLY WITH AS3500 AND LOCAL COUNCIL PLUMBING REQUIREMENTS.  
CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT.  
IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

SITE WORKS  
SITE TO BE PREPARED IAW ENGINEERS OR SURVEYORS REPORT IF APPLICABLE.  
SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS.  
EXCAVATION AND FILLING OF THE SITE TO BE IAW NCC VOL 2. PART 3.1 AND AS 2870.  
DRAINAGE WORKS TO BE IAW NCC VOL 2. PART 3.1.2 AND AS/NZS 3500.3.2 & 3500.5  
FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000 AT 1:20 MINIMUM AND TO A POINT WHERE PONDING WILL NOT OCCUR.  
FINISHED SLAB LEVEL TO BE 150 ABOVE FINISHED GROUND LEVEL OR 50 ABOVE PAVED SURFACES.

MASONRY  
ALL BRICKWORK TO BE IAW NCC VOL 2. PART 3.3  
MASONARY ACCESSORIES TO NCC VOL 2. PART 3.3.3  
WEATHER-PROOFING OF MASONRY TO NCC VOL 2. PART 3.3.4  
REFER TO ENGINEERS SPECIFICATIONS FOR ARTICULATION JOINT POSITION AND DETAILS.  
APPROVED GALVINISED TIES AT 600X600MM cts. AND 300MM cts  
WALLS TO HAVE A CONTINUOUS CLEAN CAVITY.  
BRICK PERIMETER WALLS UNDER TIMBER FLOORS TO HAVE VENTS 6000M2 PER METRE LENGTH OF EXTERNAL WALL, WITH VENTS NOT MORE THAN 600mm FROM CORNERS.  
WEEP HOLES ABOVE DPC LAYER 480MM cts MAX.

FOUNDATION AND SLAB  
FOOTINGS, FOUNDATION & SLAB TO BE STRICTLY TO STRUCTURAL ENGINEERS DESIGNS AND SPECIFICATIONS.  
  
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE INSPECTED AND APPROVED BY BUILDING INSPECTOR AND/OR ENGINEER BEFORE ANY CONCRETE IS POURED.  
DAMP PROOF COURSE TO EXTEND 150MM ABOVE GROUND LEVEL.  
REFER TO SOIL REPORT FOR CLASSIFICATION.

STEEL WORK  
REFER TO ENGINEERS SPECIFICATION/DRAWINGS.

WALL FRAMING  
HARDWOOD MINIMUM STRESS GRADE F17, S3 STRENGTH GROUP J2 JOINT GROUP.  
SOFTWOOD MINIMUM STRESS GRADE MGP10,SD6 STRENGTH GROUP, JD4 JOINT GROUP.  
ALL TIMBER FRAMING TO COMPLY WITH AS1684.2-2010, NCC VOL 2. PART 3.4, ANY ENGINEERS DETAILS, MATERIAL SUPPLIERS SPECIFICATIONS AND LOCAL COUNCIL REQUIREMENTS.  
ALL NUTS AND BOLTS TO BE PROVIDED WITH WASHER. BOLT HOLES TO BE 2MM OVERSIZED IN UNSEASONED TIMBER. ALL EXTERNAL BOLTS, NUTS AND WASHERS TO BE GALVANIZED.  
TIMBER STUDS:  
90X35 MPG 10 STRUC. PINE OR 90X35 F17 HWD AT 450crs.  
TOP AND BOTTOM PLATES AND NOGGINS:  
90X35 MPG STRUC. PINE OR 90X35 F17 HWD.  
WALL BRACING AND TIE-DOWN OF TIMBER CONSTRUCTION TO ENGINEER'S DETAILS.  
ROOF TRUSSES AT 900crs MAX. DESIGNED, INSTALLED AND BRACED IAW MANUFACTURES SPECIFICATIONS.

ROOF AND WALL CLADDING  
GENERALLY IAW NCC VOL 2. PART 3.5  
ANY EXTERNAL TIMBER, TREADED PINE AND WESTERN CEDAR CLADDING TO BE FIXED IAW MANUFACTURERS SPECIFICATION.  
VAPOUR PERMEABLE SARKING TO BE PROVIDED AS PER DETAILS.  
WALL CLADDING TO BE IAW NCC VOL 2. PART 3.5.3 & MANUFACTURERS SPECIFICATIONS.  
FLASHINGS TO NCC VOL 2. PART 3.5.3.6.  
ROOF CLADDING TO BE INSTALLED STRICTLY IAW MANUFACTURES SPECIFICATIONS IAW NCC VOL 2. PART 3.5.1.3 AS 1562.1.

FASCIA, GUTTERS AND DOWNPIPES  
COLORBOND METAL FASCIA, GUTTERING AND FLASHINGS INSTALLED IAW MANUFACTURERS SPECIFICATIONS.  
GUTTERS AND DOWNPIPES GENERALLY TO BE IAW NCC VOL 2. PART 3.5.2 & AS/NZS 3500.3.2 & THE TASMANIAN PLUMBING CODE.  
EAVE GUTTERING TO HAVE CROSS SECTION AREA OF 6500MM2. BOX GUTTING TO HAVE CROSS SECTION AREA OF 7900MM2.  
DOWNPIPES PAINTED TO CLIENTS REQUIREMENTS AND FIXED WITH WALL BRACKETS AT BEGINNING AT DOWNPIPE ELBOW, TO BE 90MM DIA AT MAX, 12,000CRS AND TO BE WITH IN 1200 OF INTERNAL GUTTER TO COMPLY WITH NCC VOL 2. PART 3.5.2.4. DOWNPIPES MUST NOT SERVE OVER 12M OF GUTTER.  
LAP GUTTERING 75MM IN DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.  
TAKE 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES AND LAPPED 150mm IN DIRECTION OF FLOW.

FITOUT SCHEDULE  
10mm PLASTERBOARD LINING TO WALLS AND CEILING WITH 90mm PLASTER CORNICE TO ALL AREAS, UNLESS STATED OTHERWISE IN SPECIFICATION.  
CEILING PLASTER FITTED TO METAL FURRING CHANNEL AT 450crs.  
VILLABOARD TO WET AREAS TO MANUFACTURERS SPECS AND TO COMPLY WITH 3.8 OF THE NCC VOL 2.  
ALL DOORS, WINDOWS, ARCHITRAVES, SKIRTING, WALL AND FLOOR SURFACES AND ALL FITTINGS AND FIXTURES AS PRESCRIBED IN SPECIFICATION.

ELECTRICAL  
ALL WIRING, LIGHTING, ELECTRICAL OUTLETS AND FIXTURES MUST BE INSTALLED BY A LICENSED PRACTITIONER.  
ALL LIGHTING AND ELECTRICAL FITTINGS AND FIXTURES AS PRESCRIBED BY OWNER AT TIME OF INSTALLATION.

FIRE SAFETY  
GENERALLY TO BE IAW NCC VOL 2. PART 3.7  
SARKING TO HAVE A FLAMMABILITY INDEX LESS THAN 5.  
SMOKE ALARM INSTILLATION TO BE IAW NCC PART 3.7.2. LOCATIONS INDICATED ON THE ELECTRICAL PLAN AND ARE TO BE INSTALLED ON CEILING 300mm AWAY FROM WALL JUNCTION.  
HEATING APPLIANCES GENERALLY TO BE IN COMPLIANCE WITH NCC 3.7.3 AND AS 2918.

CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS  
DWELLING TO BE CONSTRUCTED IAW AS 3959,

FIRE DANGER INDEX (FDI) = 50 (1090K)

**BUSHFIRE ATTACK LEVEL (BAL) = TBC**

AIR MOVEMENT  
GENERALLY IAW NCC VOL 2. PART 3.12.4  
ROOF CAVITY MUST HAVE ADEQUATE VENTILATION TO PREVENT CONDENSATION BUILD UP, WITH IN ROOF SPACE. (ROUGHLY 1/2 OF SUBFLOOR VENTILATION)  
SUB-FLOOR TO BE VENILATED WITH PRYDA METAL VENTS 230X57 (52 HOLES @ 11mm X 11mm) EVERY 1048mm ALONG WALL

SERVICES  
GENERALLY IAW 3.12.5.  
HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IAW AS/NZS 3500.

FACILITIES  
GENERALLY TO BE IAW NCC VOL 2. PART 3.8.3.  
SANITARY COMPARTMENT TO HAVE A MINIMUM 1200mm BETWEEN THE CLOSEST PAN AND THE NEAREST PART OF THE DOOR. IF NOT, LIFT OFF HINGES ARE TO BE FITTED TO SWING DOORS TO BE IAW NCC VOL 2. PART 3.8.3.3. REFER TO PLAN FOR DETAIL.  
VENTILATION TO BE IAW NCC VOL 2. PART 3.8.5 OR AS 1668.2 FOR MECHANICAL VENTILATION.  
EXHAUST FAN FOR BATHROOM/WC & KITCHEN TO BE VENTED TO VENTILATED ROOF SPACE OR OUTSIDE IF THE ROOF SPACE IS NON VENTILATED.  
MECHANICAL VENTILATION REQUIRED IN FIRST FLOOR WC TO COMPLY WITH NCC VOL 2. PART 3.8.5.3

BUILDING SEALING  
GENERALLY TO BE IAW WITH NCC VOL 2. PART 3.12.3  
THE 6 STAR PROVISION ALLOWS UP TO 1% OF THE CEILING INSULATION AREA TO BE LOST TO PENETRATIONS SUCH AS CEILING FANS AND RECESSED DOWN LIGHTS. IF THIS IS EXCEEDED, THE REMAINDER OF THE INSULATION MUST BE INCREASED BY 25% AND UPWARDS DEPENDING ON ACTUAL PERCENTAGE OF PENETRATIONS.  
ROOF LIGHTS TO HABITABLE ROOMS TO BE FITTED WITH OPERABLE OR PERMANENT SEAL TO MINIMISE AIR LEAKAGE.  
EXTERNAL WINDOWS AND DOORS TO HABITABLE ROOMS/CONDITIONED SPACES TO BE FITTED WITH AIR SEAL TO RESTRICT AIR INFILTRATION.  
EXHAUST FANS TO HABITABLE ROOMS/ CONDITIONED SPACES TO BE FITTED WITH SELF CLOSING DAMPER OR FILTER.  
BUILDING ENVELOPE TO BE CONSTRUCTED TO MINIMISE AIR LEAKAGE, CONSTRUCTION JOINTS AND JUNCTIONS OF ADJOINING, SKIRTING, ARCHITRAVES AND CORNICES.

**6 - STAR ENERGY EFFICIENCY RATING**  
**BUILDING FABRIC**  
GENERALLY IAW NCC 3.12.1  
BUILDING FABRIC INSULATION TO BE FITTED TO FORM A CONTINUOUS BARRIER TO ROOF/CEILING, WALLS AND FLOORS EXCEPT AROUND SERVICES/FITTINGS (SEE BELOW - BUILDING SEALING).  
REFLECTIVE BUILDING MEMBRANE WITH MIN. 0.2 R VALUE, INSTALLED TO FORM 20MM AIRSPACE BETWEEN REFLECTIVE FACE AND EXTERNAL LINING/CLADDING, FITTED CLOSELY UP TO PENETRATIONS/ OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED MIN. 150MM.  
ANY SARKING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.

BUILDING FABRIC (ZONE 7)	TOTAL R-VALUE REQUIRED
ROOF - TILES	4.3
ROOF - METAL	4.3
WALLS - BRICK VENEER	2.4
WALLS - CAVITY BRICK	2.4
WALLS- CEMENT OR METAL SHEET	2.4
FLOOR-TIMBER (SUSPENDED & UNENCLOSED)	2.5
FLOORS - CONCRETE (SUSPENDED & UNENCLOSED)	2.5
FLOOR-TIMBER (SUSPENDED & ENCLOSED)	1.5
FLOORS - CONCRETE (SUSPENDED & ENCLOSED)	1.5

OR ALTERNATIVELY AS SPECIFIED IN COMPLIANCE WITH BCA 2ND GENERATION ENERGY RATING SOFTWARE.

**ENERGY EFFICIENCY**  
GENERALLY IAW NCC VOL 2. PART 3.12  
CLIMATE ZONE 7 APPLICABLE TO TASMANIA (EXCLUDING ALPINE AREAS)

**EXTERNAL DOORS AND WINDOWS**  
GENERALLY GLAZING TO BE IAW AS 1288 & NCC VOL 2. PART 3.6  
INSTALLATION OF GLAZING TO BE IAW AS2047  
REFER TO WINDOW SCHEDULE FOR SIZES AND TYPES.  
EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS.  
ALL EXTERNAL DOORS TO BE SOLID CORE, INCLUDING GARAGE INTERNAL DOOR

**WET AREAS**  
GENERALLY WET AREA WATERPROOFING TO BE IAW AS3740 AND NCC VOL 2. PART 3.8.  
FLOOR SURFACE IN BATHROOMS, LAUNDRY AND ALFRESCO SURFACES ABOVE HABITABLE AREA, SHALL BE IMPERVIOUS TO PREVENT MOISTURE BETWEEN WALLS AND FLOORS TO BE FLASHED TO PREVENT MOISTURE PENETRATION OF WALLS.  
WATERPROOFING OF SURFACES ADJACENT TO OPEN SHOWER, INCLUDING SHOWER OVER BATH, TO EXTEND 1.5 FROM A VERTICAL LINE PROJECTED FROM SHOWER ROSE, TO A HEIGHT 1.8 ABOVE FINISHED FLOOR.  
WALL SURFACES ADJACENT TO A PLUMBING FIXTURES, BATH ETC, TO BE PROTECTED TO A HEIGHT OF 1500 ABOVE FIXTURE.  
WALL TILES OR SIMILAR USED AS A SPLASH BACK MINIMUM OF 150mm HIGH AT VANITY AND BATH.

TABLE 3.8.1.1 WATERPROOFING AND WATER RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS

<u>VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED</u>	<u>FLOORS AND HORIZONTAL SURFACES</u>	<u>WALLS</u>	<u>WALL JUNCTIONS AND JOINTS</u>	<u>PENETRATIONS</u>
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RERAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH WITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING WATER STOP	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH WITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH STEP DOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEP DOWN	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAT 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH WITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH PREFORMED SHOWER BASE	N/A	WATER RESISTANT TO A HEIGHT OF NOT LESS THAT 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH WITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNENCLOSED SHOWER AREA	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAT 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH WITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40MM	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATER PROOF ENTIRE FLOOR	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40MM	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF THE BATH RNCLOSED WITH THE FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATER PROOF ENTIRE FLOOR	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF THE BATH RNCLOSED WITH THE FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. WATERPROOF ENTURE SHELF AREA, INCORPORATING WATERSTOP UNDER THE BATH LIP AND PROJECT NOTLESS THAN 5MM ABOVE THE TILE SURFACE	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAT 150MM ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (E.G. SINKS, LAUNDRY TUBS AND BASINS	N/A	WATER RESISTANT TO A HEIGHT OF NOT LESS THAT 150MM ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75MM OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIED AND WCs	WATER RESISTANT TO ENTIRE FLOOR	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25MM ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS, WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAT 40MM	N/A

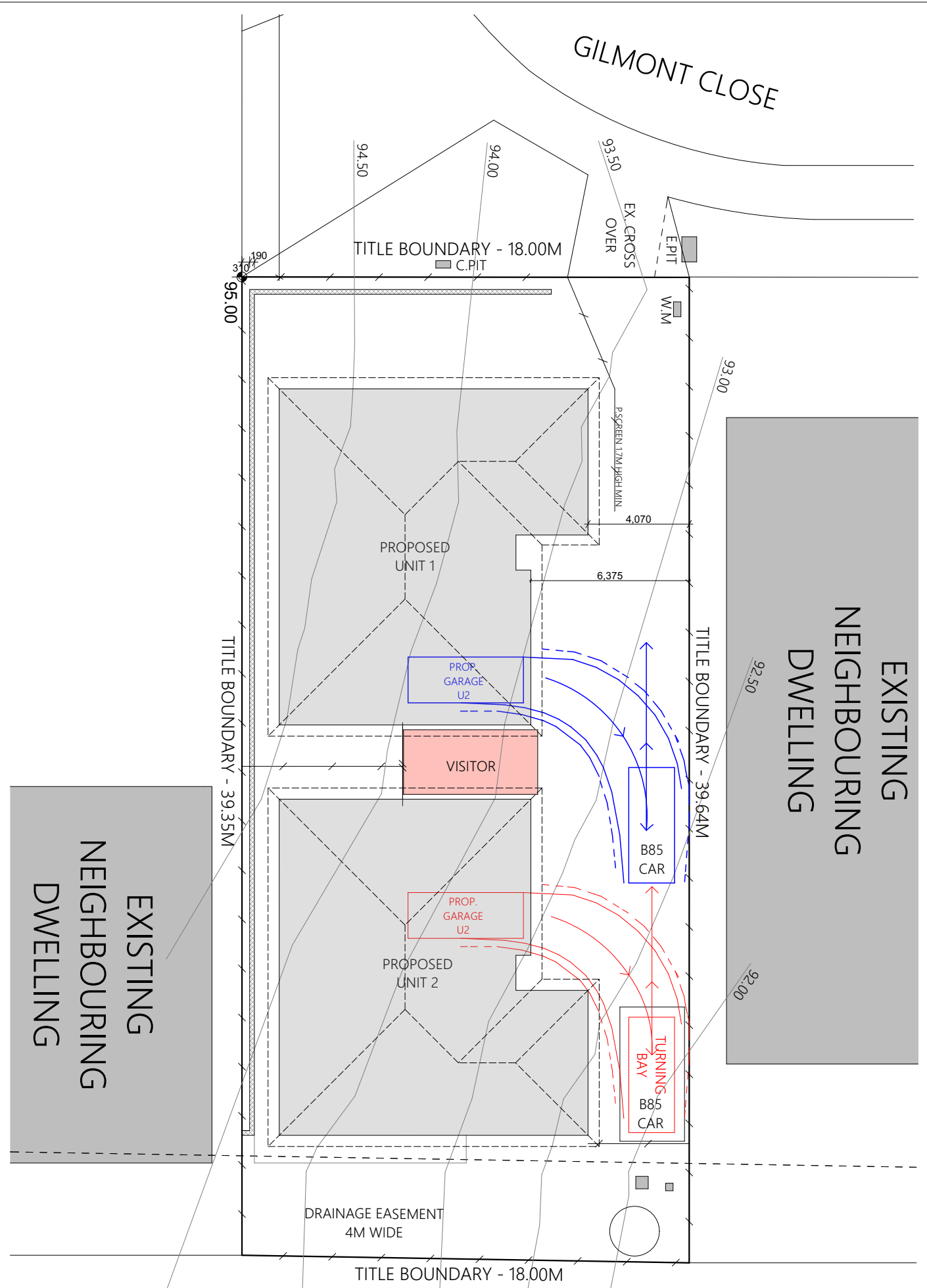
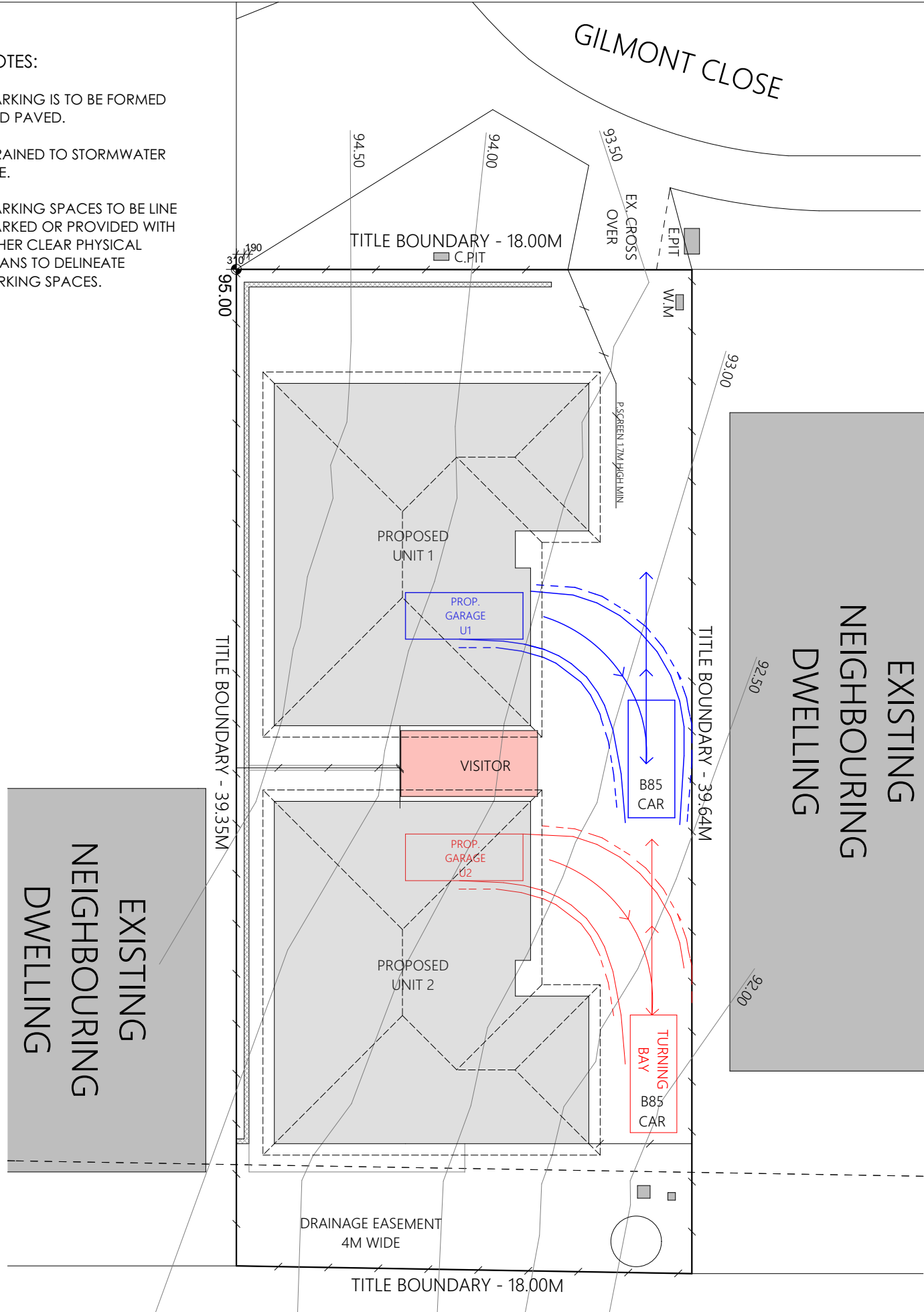


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-PARKING SPACES TO BE LINE MARKED OR PROVIDED WITH OTHER CLEAR PHYSICAL MEANS TO DELINEATE PARKING SPACES.



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14 GILMONT CLOSE,  
KINGS MEADOWS, 7249.

**DRAWING**  
**PARKING PLAN**

I/WE APPROVE THESE DRAWING TO BE  
CORRECT PER CONTRACT.

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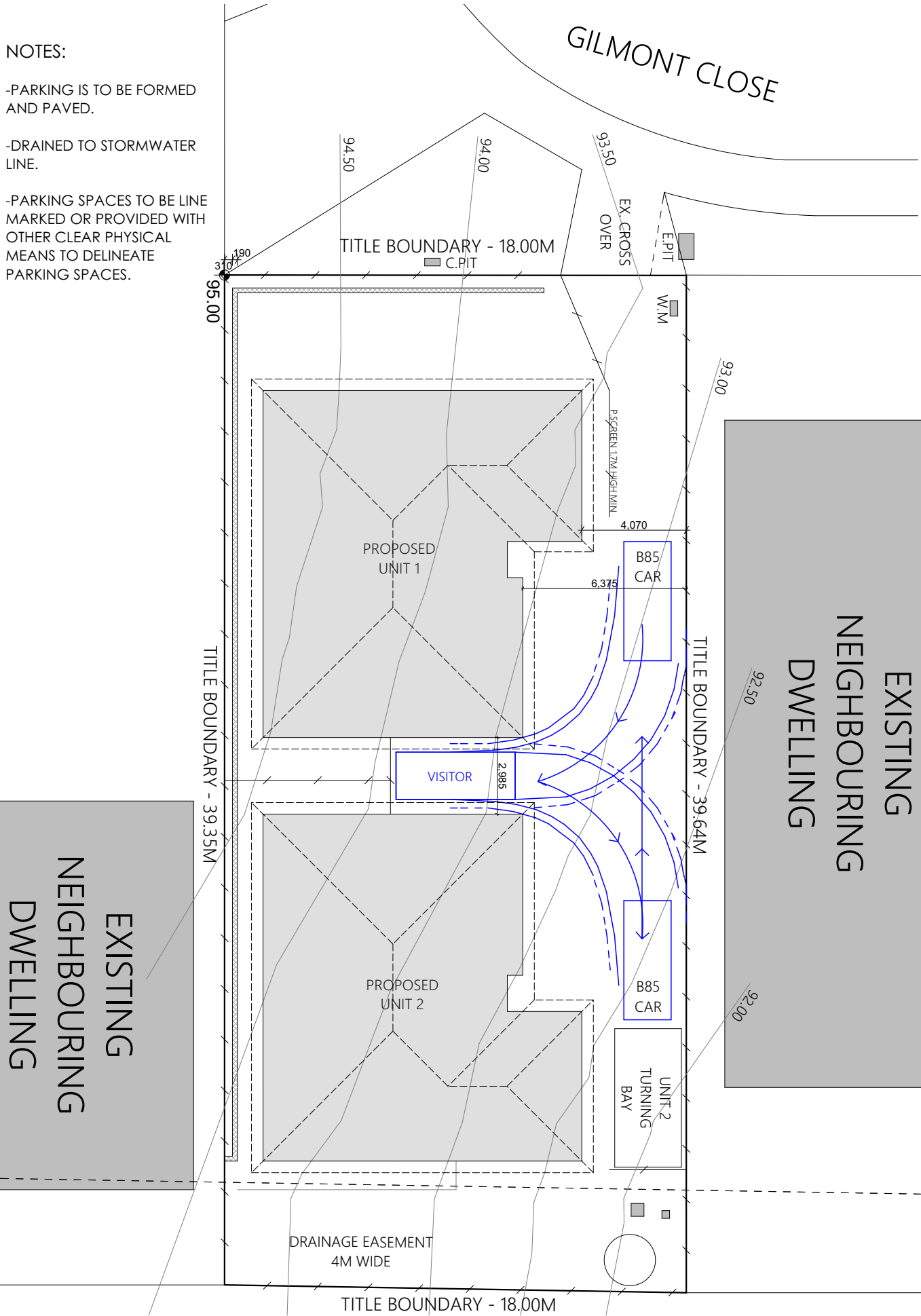
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NOTES:

-PARKING IS TO BE FORMED AND PAVED.

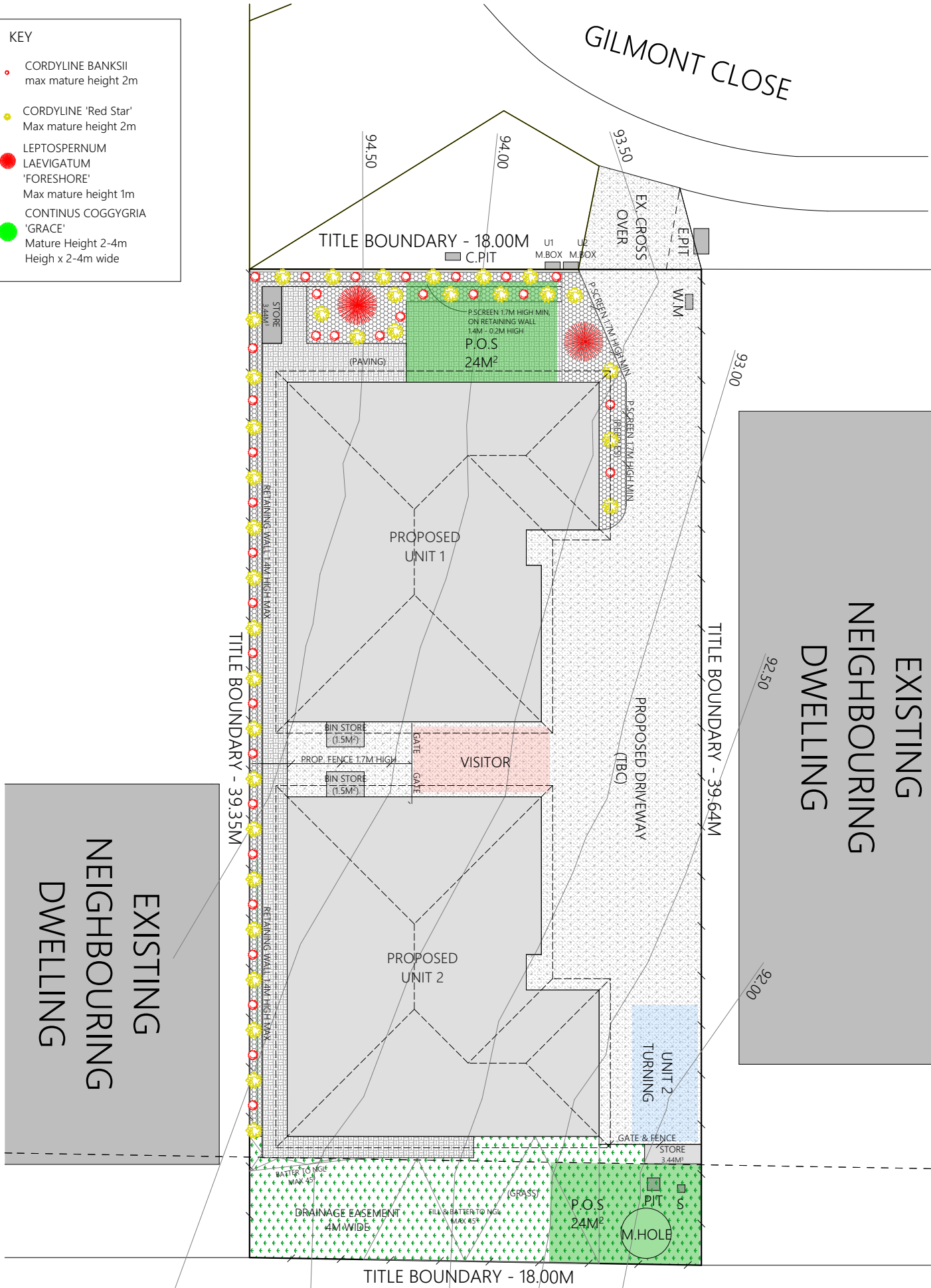
-DRAINED TO STORMWATER LINE.

-PARKING SPACES TO BE LINE MARKED OR PROVIDED WITH OTHER CLEAR PHYSICAL MEANS TO DELINEATE PARKING SPACES.



KEY

- CORDYLINE BANKSII  
max mature height 2m
- CORDYLINE 'Red Star'  
Max mature height 2m
- LEPTOSPERNUM  
LAEVIGATUM  
'FORESHORE'  
Max mature height 1m
- CONTINUS COGGYRIA  
'GRACE'  
Mature Height 2-4m  
Heigh x 2-4m wide



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**Client/s:**  
P & A HARTLEY

**Site Address:**  
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**DRAWING**  
**PARKING PLAN**  
**& LANDSCAPE**  
**PLAN**

I/WE APPROVE THESE DRAWING TO BE  
CORRECT PER CONTRACT.  
**SIGNATURE:**  
**SIGNATURE:**  
**DATE:**  
**DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	GLMN14
R1	03/05/2018	CONCEPT				
R2	20/08/2018	LANDSCAPE MODS.	<b>DRAWN</b>	W.M.	<b>DRAWING</b>	<b>22/22</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	NTS