

From: Marcus and Janet Wyton
Sent: 6 Jul 2018 05:23:25 +1000
To: Contact Us
Subject: Objection to DA0317/2018 Advertised Plans for Proposed New Residence 38A Hill St West Launceston

Dear General Manager

**Written Representation: Objection to DA0317/2018
Advertised Plans for Proposed New Residence 38A Hill St West Launceston**

Thank you for the opportunity to review the advertised plans. It is clear from our review that the plans are not compliant with Launceston Interim Planning Scheme 2015 (the Planning Scheme) and should not be approved without significant amendment.

The advertised plans fail to satisfy the following specific parts of the Planning Scheme, noting that we are not planning professionals and so our analysis is unlikely to be exhaustive:

- **10.4.2 Setbacks and building envelope for all dwellings**

Objective:

Objective fails to be met, particularly regarding lack of consistency in scale, bulk, massing and proportion.

Acceptable Solution A3 (a) (Refer: Diagrams 10.4.2B&D)

The dwelling setback (2.23m) fails to satisfy rear setback requirement (4m).

The dwelling fails to satisfy building envelope requirements. Dwelling height may exceed envelope height limit as the stated 7.76m height is not measured from natural ground level. Dwelling fails to remain within building envelope. Dwelling extends well beyond southern side boundary envelope limits, with obvious protrusion.

Performance Criterion P3 (a) & (b)

The dwelling fails to meet the performance criterion as it overshadows private open space and there is inadequate separation between the lots. Further, the dwelling will have a very significant visual impact from adjoining lots due to its large multi-storey scale, bulk and proportions.

- **10.4.12 Earthworks and retaining walls**

Objective:

Objective fails to be met as fill is deeper than 600mm and extends within 900mm of lot boundary.

Acceptable Solution A1 (a)

Fails to satisfy Acceptable Solution as fill deeper than 600mm extends within 900mm of lot boundary.

Performance Criterion P1

There is not enough information to determine whether this can be satisfied.

Further, Council's own Launceston Heritage Study 2007 (commencing at page 129) contains a number of pertinent statements regarding the West Launceston Precinct, including:

- The impact of the precinct is most obvious from a distance, within the city or from East Launceston where the hillside forms a backdrop to the city and the houses can be seen with their principal elevations facing the view across the city and the east. (p. 129)
- The precinct is significant for a range of reasons: [including] ... demonstrat[ing] the range of housing from the late Victorian and Federation periods in a very intact and coherent group; [and] ... [t]he buildings form part of a large and significant group of exceptionally fine timber buildings that characterise Launceston and which give the city much of its recognised character..." (p. 130)

Policy recommendations from the Launceston Heritage Study 2007 include the following recommendations numbered 7 and 8, respectively:

- Where infill buildings are proposed, material selections and forms should relate to the predominant streetscape pattern. Replication of historic forms is not encouraged in new work, however new designs must demonstrate a scale, form and materials relationship to the precinct.
- The landform and natural features of the area are to be retained and protected; new development that affects the visual form of the landscape either locally or when viewed from a distance should not be permitted.

As the advertised plans fail to comply with the Launceston Interim Planning Scheme 2015 and are inconsistent with expert guidance provided by Council's own Heritage Study we urge you to refuse DA0317/2018 or effect necessary amendments. We can be contacted on _____ if you wish to discuss this further.

Regards

Marcus and Janet Wyton

Sent from [Mail](#) for Windows 10

From: Aiden Shelton
Sent: 10 Jul 2018 18:52:19 +1000
To: Contact Us
Subject: OBJECTION: 38A HILL ST. WEST LAUNCESTON (DA0317/2018)
Attachments: 38A hill st objection.pdf

To the General Manager,

Attached is a letter of objection to the new dwellings at 38A Hill St West Launceston. I would appreciate it if you review and consider my points.

Kind regards,
Aiden Shelton

Aiden Shelton

OBJECTION - PLANNING APPLICATION 38A HILL STREET (APPLICATION NO. DA0317/2018)

Furthermore, this section of Hill Street has streetscape values that are unique to Launceston and is highly relevant to the history of the City. This is evidenced by the large number of heritage listed houses on the street. We understand that this area was to be designated a heritage precinct, in recognition of its cohesive heritage character as outlined [in the Launceston Council website], and in order to protect this character, serious consideration needs to be given to new dwellings in this area.

Aiden Shelton

From: Lucy Wise
Sent: 10 Jul 2018 20:55:57 +1000
To: Contact Us
Subject:

Dear General Manager

DA0317/2018 - 38a Hill St West Launceston - Objection

I object to DA0317/2018, as recently advertised, referring to a significant development at 38a Hill Street, West Launceston.

I reside at _____ and have done so for some time, enjoying the scenic and historic aspects of the Hill Street precinct. The proposed development seems out of proportion to the spacious and graceful appearance of the area. Furthermore, the area has a particular style and appearance from across the city which will be compromised by the development.

I think that any development on 38a Hill Street should be in keeping with the rest of the neighbourhood and at the very least it should comply with all applicable parts of the relevant Planning Scheme. The development should be:

- set in more so as not to protrude as much;
- built in more traditional style and materials; and
- reduced in size so as not to intrude so much into neighbouring properties (and my back yard).

Thank you for the opportunity to comment.

I can be contacted on _____ if you wish to discuss this further.

Kind Regards,
Lucy Wise

From: Ian Boersma
Sent: 13 Jul 2018 06:59:59 +1000
To: Contact Us
Subject: LUPAA s57 representation for DA0317/2018 relating to 38A Hill Street WEST
LAUNCESTON TAS 7250

The General Manager,
Launceston City Council
Town Hall, 18-28 St John Street
Launceston, Tasmania 7250

Dear Sir,

I wish to use the opportunity afforded by LUPAA s.57 to provide comment on the discretionary application for a new dwelling, garage and swimming pool at 38A Hill Street West Launceston.

The manner in which a development in this location responds to its context is important.

Hill Street contains a number of heritage listed places and other older residential building stock of heritage character, and collectively these places create an area of heritage character. The hillside on which these heritage places are situated forms an attractive part of the setting of the historic urban centre of Launceston. The area has potential to be designated as a "heritage precinct" under the local planning scheme.

The main element of the proposed development is a two-storey dwelling of a modern rectilinear form sited to the rear and uphill of an established house that fronts Hill Street. It has little in common with the prevailing character of the older housing stock of the area. It is likely that the dwelling will be visible from Hill Street, Arbour Park, and even from within the Launceston CBD. The extent to which this may be the case is uncertain, as the application provides little contextual information that can assist in predicting its visual impact from the street and other public vantage points. However, what may be certain is that it will be perceived as being strikingly different from the historic character of the neighbouring buildings. This difference will weaken the cohesive heritage character of the area.

I urge Council not to give its approval to discretionary developments that erode Hill Street's potential to be recognized as a heritage precinct or part of a heritage precinct.

Yours sincerely,

Ian Boersma

From: Jennifer Kerkenezov
Sent: 13 Jul 2018 08:48:42 +1000
To: Contact Us
Subject: Objection 38a Hill St West Launceston
Attachments: 38a Hill St DA.docx

Please find attached a letter of objection 38a Hill St West Launceston

Dear General Manager

Objection to DA0317/2018 - Proposed New Residence 38a Hill St West
Launceston

38a Hill St West Launceston has recently been advertised for
development.

As a nearby resident at I have several concerns that initiate
this e mail in opposition to the development.

The building will be viewed from the street and doesn't appear to
be in the style represented by the existing residences of Hill St,
several of which are heritage listed.

The privacy of the neighbours will be compromised, particularly the
proposed patio on top of the garage.

It is a small block of land and the dwelling extends right to the
boundaries further encroaching on the neighbour's privacy.

Thank you for the opportunity to comment on opposition to this
development.

Paul and Jennifer Kerkenezov

From: Elizabeth
Sent: 13 Jul 2018 14:40:52 +1000
To: Contact Us
Subject: Re: Objection to application for planning approval - 38A Hill Street, Launceston
Attachments: Objection to planning application 38A Hill Street 13 July 2018.pdf

Dear Sirs

Please disregard our email (copy below) sent earlier today. The attachment was not complete. Please find attached to this email the complete objection to the application for planning approval in relation to 38a Hill Street, West launceston.

Yours Sincerely

Elizabeth Maclaine-Cross

Eamonn Tiernan

From: Elizabeth
Sent: Friday, 13 July 2018 2:07 PM
To: contactus@launceston.tas.gov.au
Subject: Objection to application for planning approval - 38A Hill Street, Launceston

Please find attached our objection to the application for planning approval in relation to 38A Hill Street, West Launceston.

Yours Sincerely

Elizabeth Maclaine-Cross

Eamonn Tiernan

12 July 2018

The General Manager
City of Launceston
contactus@launceston.tas.gov.au
ATTENTION: PLANNING DEPARTMENT

Elizabeth MacLaine-Cross & Eamonn Tiernan

Dear Mr Stretton

OBJECTION - PLANNING APPLICATION DA0317/2018 38A HILL STREET

The reasons for our objection are outlined under headings hereinafter.

It is important to note that we will refer the matter to the Resource Management & Planning Appeal Tribunal if any planning decision diminishes the heritage value of Hill Street.

This part of Hill Street is visible from almost every part of the city and environs. Development of this highly visible block, in this area of high heritage importance, will significantly impact all Launceston, as well as the immediate neighbourhood.

We do not oppose appropriate development of 38A Hill Street. For that reason we did not oppose the subdivision application when 38A Hill Street did not exist and was simply a part of 40 Hill Street. However, such development should be in sympathy with the size of the block and the heritage character of the area and comply with the acceptable solutions within the Planning Scheme.

This application, as it stands, should be rejected because it does not comply with the planning scheme and the drawings provided with the application are misleading and inadequate. Furthermore, the proposed large, modern development does not accord with the City of Launceston Council's goals as stated in its own Launceston Heritage Study 2007.

1. INADEQUATE & MISLEADING PLANS PREVENTING ADEQUATE ASSESSMENT BY COUNCIL

Council do not have adequate information to allow the planning application to proceed or adequately assess the impact of the proposal. The concept drawings submitted are so naive that they are misleading.

Examples of misleading aspects of the drawings include:

- PO6 is misleading in suggesting that the front and rear of the proposed building sit within the building envelope required by the planning scheme. We have amended the drawing (attached and marked 'Annexure A') to show that, in fact, the rear of the building extends beyond the required building envelope.
- Drawing number PO5 (North Western Elevation) misleadingly suggests that the rear of the proposed building sits well within the building envelope. We have amended the drawing (attached and marked 'Annexure B') to show how far the proposed building sits outside of the building envelope.

- Drawing number PO5 (north Western Elevation) is unclear as to whether or not the front of the building sits within the building envelope. The drawing should show where the building envelope sits in comparison to the front of the proposed building. We have amended the drawing (attached and marked 'Annexure B') to show that the front of the proposed building may not fit within the building envelope. It is difficult to be accurate about this without proper drawings showing the scale of the drawings.
- There is no scale on any of the drawings. This prevents independent analysis of exactly how far the proposed building sits outside the building envelope and the planning scheme requirements.
- Drawings number PO1 & PO5 (North Western Elevation) only show the proposed garage as a dotted line, hiding the visual bulk of the proposed building. It is stated that the "proposed garage is excluded for clarity" but there are no plans that adequately show the visual bulk and impact of this proposed garage which is 3 metres high and only 1 metres off the neighbour's boundary.
- The proposed garage includes a party deck that looks directly into the neighbour's property and their main living areas. Drawing number PO5 (North Eastern Elevation) suggests that the 1.7m high "permanently fixed screen" between the party deck and the neighbouring land is high enough to shield the neighbours from the invasion of privacy. This is misleading, as the human figures used are dwarfish. The average height of Australian men is 1.78m. A man of average height, in shoes, will be able to see over this screen into the neighbour's land and private living area. This is also true of most women (taking account of the average height of women in average size heels).
- We attach (and mark "Annexure C") submitted drawing PO8 with our amendments which show a more accurate reflection of building envelope.

2. THE APPLICATION SHOULD ONLY BE CONSIDERED WHEN ACCURATE PLANS ARE PROVIDED

The plans are misleading because they do not accurately represent how far outside the building envelope the proposed development sits and how much of an impact this proposed development will have.

Our amendments can only demonstrate some of the limitations of the drawings submitted. However, it shouldn't fall to us to present accurate representations of the building envelope to the Council. This should be done by the developer with adequate drawings.

The application should be dismissed and only considered once sufficient plans are provided including:

- Appropriate drawings that show how the proposed building sits in comparison to the building envelope allowed by the planning scheme. A plan that would assist greatly, particularly given the steeply sloping geography of the block, is one like diagram 10.4.2B which shows a building envelope for sloping sites as referred to in subclause 10.4.2A3(a)
- Visual depiction of the proposal's impact on the streetscape including what the pedestrian sees at street level and neighbouring locations (taking into account height, scale, mass, setback and orientation).
- Visual depiction of the proposal's impact on the cityscape. This prominent part of Hill Street can be seen from many different areas of the city and nearly all neighbouring hills and suburbs. It is

therefore important to see plans that show what the proposed development will look like from these longer views. We **attach** (and mark "Annexure D") copies of photographs of the view of Hill Street from neighbouring hillsides, marked with the location of the proposed building site, to demonstrate the high visual impact that any development at 38A Hill Street will have.

- Assessment of the architectural integrity of the proposed development including the materials to be used in construction, if building is permitted. The limited specification as to building materials on the drawings provided are insufficient to assess whether the appearance of the building materials will be sympathetic to, or represent a scar on, the streetscape and surrounding environs.
- Visual depiction of the proposal's impact on neighbours (for example, the visual bulk of the proposed 3m high garage that is 1m off the neighbour's land).
- Detailed shadow plans showing impact of the proposed development on enjoyment of sunlight by adjacent properties.
- Adequate information to determine performance criteria of the planning scheme where the proposed building does not meet the planning scheme objectives or acceptable solutions. One example of this relates to the earthworks and retaining walls (**10.4.12 of the Launceston Interim Planning Scheme.**) Drawing PO5 of the proposed development shows that the proposed building fails to satisfy the objective and acceptable solution because the fill is deeper than 600mm and extends within 900mm of lot boundary. There is inadequate information to determine the performance criteria.

3. THE PLANNING SCHEME SHOULD BE COMPLIED WITH AND APPLIED BY COUNCIL CONSISTENTLY. THE PROPOSED BUILDING DOES NOT COMPLY WITH THE PLANNING SCHEME.

It is clear that the advertised plans fail to satisfy the following specific parts of the Planning Scheme, including, but not limited to:

- **3.5.1 & 10.1.1.4 Stated purpose & objectives of the planning scheme**

The modern style, scale, bulk, massing and proportion of the proposed building do not meet the objective of the planning scheme:

- (a) To encourage residential development that respects the existing and desired neighbourhood character (10.1.1.4).
- (b) To promote a nationally important heritage city "recognising the city's heritage and ensuring that it is respected" (3.5.1)

- **10.4.2 Setbacks and building envelope for all dwellings**

The proposed building also fails to satisfy the acceptable solutions because the dwelling fails to remain within the building envelope requirements (Refer: Diagrams 10.4.2B&D of planning scheme):

- The height of the proposed building exceeds the building envelope as shown on Annexure-B;
- The rear of the proposed building exceeds the building envelope as shown on Annexure-B
- The front of the proposed building exceeds the required setback as shown on Annexure-C

The dwelling also fails to meet the performance criterion because it overshadows private open space and there is inadequate separation between the lots.

Furthermore, the dwelling will have a very significant visual impact from adjoining lots due to its large multi-storey scale, bulk and proportions.

- **10.4.12 Earthworks and retaining walls**

The objective and acceptable solutions of this part of the planning scheme are not met because the proposed infill is deeper than 600mm and extends within 900mm of lot boundary. There is not enough information to determine whether the performance criteria can be satisfied.

4. IF YOU BUY LAND IN A HERITAGE PRECINCT, BE PREPARED TO BUILD IN A WAY THAT IS SYMPATHETIC WITH THE HERITAGE VALUES OF THAT PRECINCT. DON'T DESTROY THE QUALITY OF THE NEIGHBOURHOOD.

This section of Hill Street has streetscape values that are unique to Launceston and highly relevant to the entire city. This is evidenced by the large number of heritage listed houses on the street.

This area was identified as a heritage precinct in a report commissioned by Launceston City Council in 2007, to protect its cohesive heritage character. While the process of formally designating the heritage precinct appears to have been delayed, it is important that planning decisions do not erode the area's special heritage character before the Council can fulfil this stated aim. (3.5.1 & 10.1.1.4 of the Launceston Interim Planning Scheme.)

The following Hill Street houses are permanently listed on the Tasmanian Heritage Register:

- (a) 5-7 Hill Street
- (b) 30 Hill Street
- (c) 32 Hill Street
- (d) 34 Hill Street
- (e) 38 Hill Street
- (f) 44 Hill Street
- (g) 50 Hill Street

The following Hill Street houses are recorded on the Heritage Survey as being important enough that they should be identified by the Launceston City Council and conserved under Council heritage requirements:

- (a) 10 Hill Street
- (b) 12 Hill Street
- (c) 16 Hill Street
- (d) 20 Hill Street
- (e) 25 Hill Street
- (f) 26 Hill Street
- (g) 28 Hill Street

- (h) 29 Hill Street
- (i) 36 Hill Street
- (j) 40 Hill Street
- (k) 74 Hill Street.

Council's Launceston Heritage Study 2007 (commencing at page 129) contains a number of pertinent statements regarding the West Launceston Precinct, including:

- The impact of the precinct is most obvious from a distance, within the city or from East Launceston where the hillside forms a backdrop to the city and the houses can be seen with their principal elevations facing the view across the city and the east. (p. 129).
- The precinct is significant for a range of reasons: [including] ... demonstrat[ing] the range of housing from the late Victorian and Federation periods in a very intact and coherent group; [and] ... [t]he buildings form part of a large and significant group of exceptionally fine timber buildings that characterise Launceston and which give the city much of its recognised character..." (p. 130)

Policy recommendations from the Launceston Heritage Study 2007 include the following recommendations numbered 7 and 8, respectively:

- Where infill buildings are proposed, material selections and forms should relate to the predominant streetscape pattern. Replication of historic forms is not encouraged in new work, however new designs must demonstrate a scale, form and materials relationship to the precinct.
- The landform and natural features of the area are to be retained and protected; new development that affects the visual form of the landscape either locally or when viewed from a distance should not be permitted.

The Burra Charter is nationally accepted standard for heritage conservation practice in Australia. Article 22 of this Charter is interpreted in accordance with Practice Note 22 that recommends that the coherence of historically significant areas is not destroyed by buildings designed in a modern way. The Practice Note discourages designers and architects from placing more importance on the principal of juxtaposition, rather than emphasising the principal of complimentary design.

5. If you buy a small block of land, build a property to a size that is appropriate for the confines of that small block, do not build in a way that will result in an unreasonable loss of amenity of neighbours' enjoyment of their properties and therefore create future conflict with neighbours.

The large proposed development is too big for the size of the block, as shown by the fact that it breaches planning provisions and extends well outside the permitted building envelope.

The large, modern structure would detrimentally affect the streetscape in the sense of being a 'visual scar' by introducing an element that is out of keeping and visually jarring.

A further unique quality of Hill Street is the number of particularly large blocks that create a 'green belt' for wildlife, and act as an informal extension of the Cataract Gorge reserve. This will be destroyed by continued division and development, particularly to 'choking point' as proposed for 38A Hill Street. We attach and mark "Annexure E" a copy of the Report from arborist Peter Godding in relation to these risks and those outlined in the following paragraph.

The proposed development also puts at jeopardy the safe use of the land of neighbours, as explained in the previous few paragraphs. At 42 Hill Street the viability of a massive Blackwood, close to the rear fence-line, will be jeopardized by the proposed development as a result of how close the proposed new house is to the rear boundary (outside of the building envelope). Excavation and the required pruning of overhanging tree limbs will destroy the root system and unbalance the tree so that it will be likely to fall in time. If it does, it could damage our home and could cause injury to the inhabitants.

Building such a large development on such a small block is likely to cause conflict with neighbours. It is reasonably foreseeable that owners of such a large property on such a small block (that fails to comply with the setbacks required under the planning scheme) will require neighbours to trim or remove pre-existing trees as commonly occurs between neighbours.

Performance criteria in the planning scheme should not be employed to permit an inappropriate development and create the future likelihood of neighbourhood conflict. This proposal does not fit the requirements of the planning scheme, so it should not be allowed to proceed.

Yours Sincerely

Elizabeth Maclaine-Cross

Eamonn Tiernan

**PLANNING EXPERTISE
DOCUMENTS**

Ref No: D4-03172914

Date: 30-05-2018

Issuing Authority: *[Signature]*

The undersigned hereby certifies that the above is a true and correct copy of the original document as submitted to the Planning Commission.

[illegible][illegible]

SOUTH WESTERN ELEVATION

EXPIR DATE:

SCALE: N/A	DRAWING NO: P06
Sheet dimensions: (A3)	DRAWN BY: ME
Material: Aluminum plate	SHEET NO.: 6 of 8

ELEVATIONS 2

CUSTOMER: M & J HAMILTON
PROJECT: PROPOSED NEW RESIDENCE
WEST LAUNCESTON 7250

DESCRIPTION:
FOR PLANNING APPROVAL ONLY
ADDITIONAL INFORMATION TO P1

ISSUE:	DATE:
F1	JUNE 2
P2	JUNE 2

11 Bellvue Place
Aurora, IL 60005
Tel: 708.707.1492
info@bellvue.org

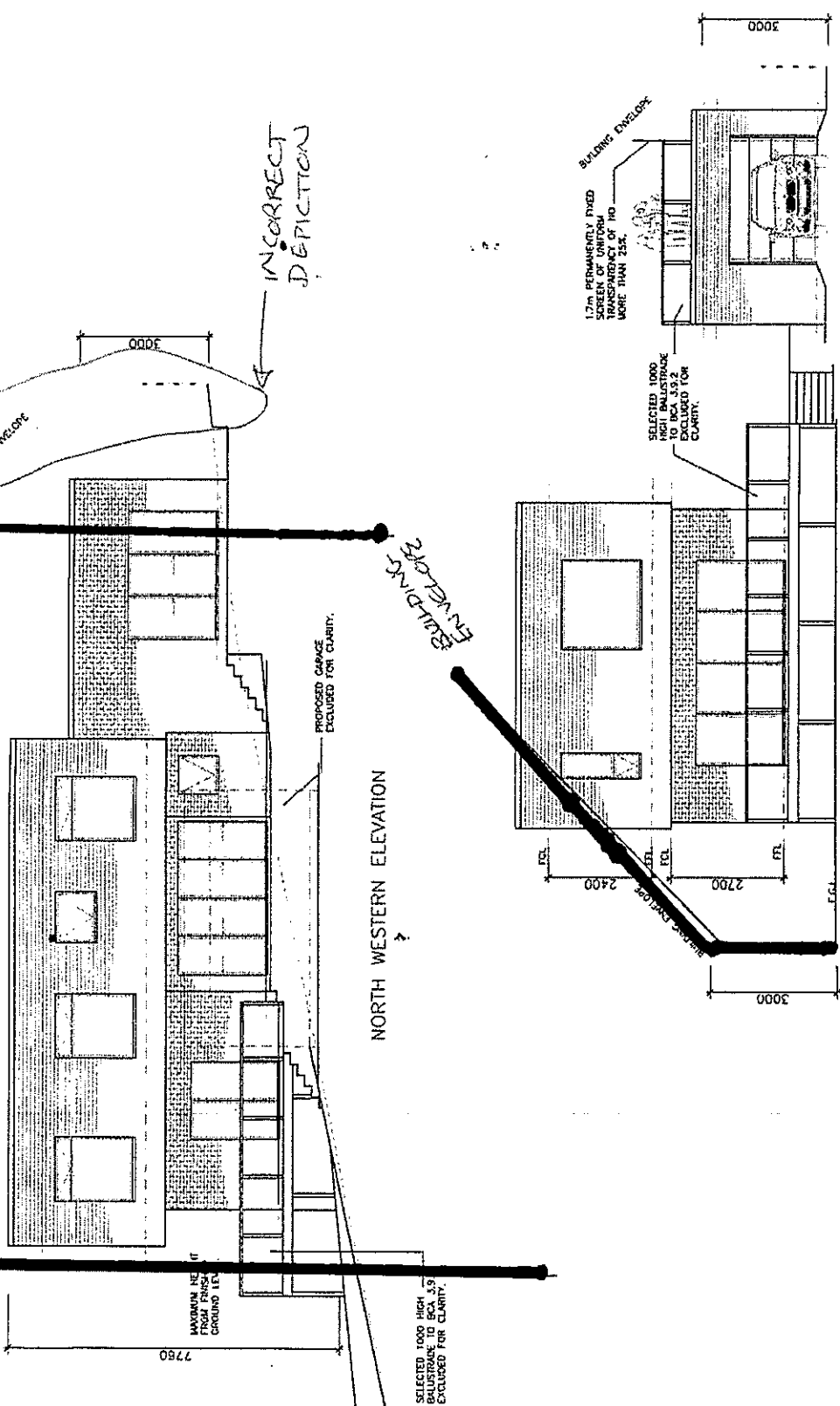
Mark Evans
Building Designs & Drafting
1407 Building Designs
Aired No. CC1629 D

ANNEXURE B

BUILDING ENVELOPE

BUILDING ENVELOPE

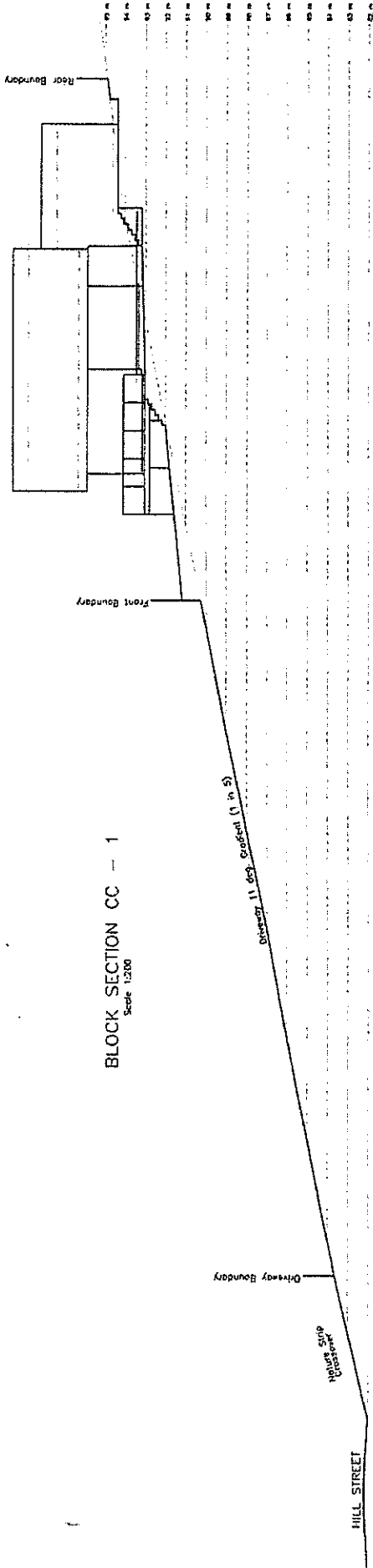
INCORRECT
DEPICTION



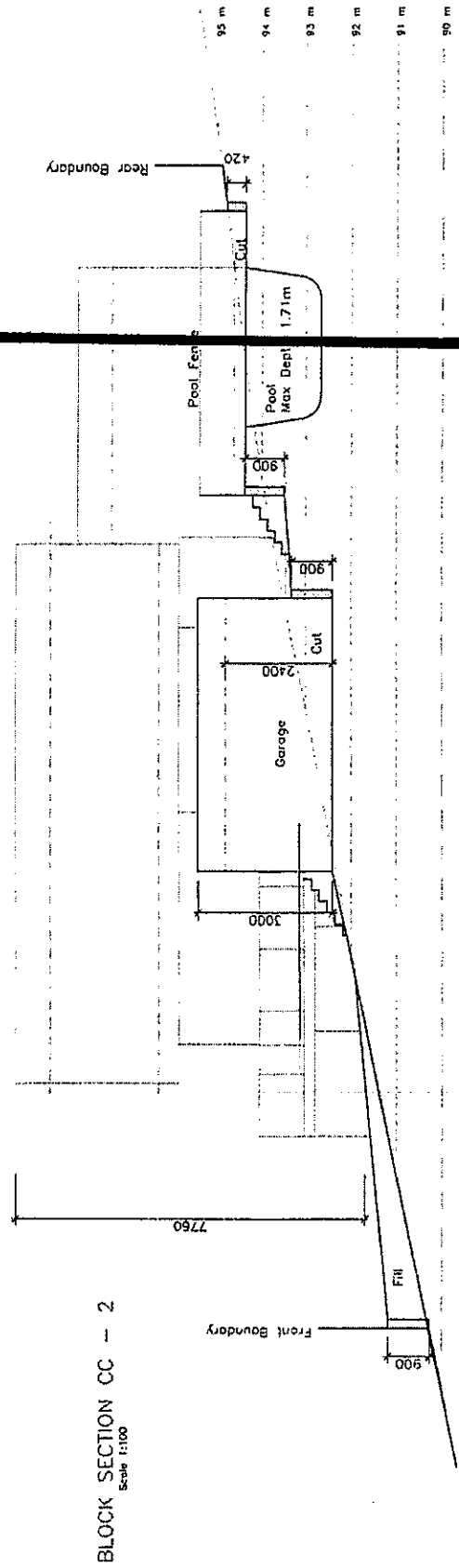
NORTH EASTERN ELEVATION

PRINT DATE:		DRAWING TITLE(S):		DRAWING NO: P05	
SCALE: N/A (A3)		CLIENT: M & J HAMILTON		DRAWN BY: ME	
CADD: [Signature]		PROJECT: PROPOSED NEW RESIDENCE		PROJECT NO: 123456789	
PROJECT NO: 123456789		PROJECT: WEST LAUNCESTON 7250		SHEET NO. 5 of 8	
ISSUE: P1		DESCRIPTION: FOR PLANNING APPROVAL ONLY			
ISSUE: P2		ADDITIONAL INFORMATION TO P1			
<div>Building Designs & Drafting 11 Malabar Road Launceston 7250 Mob: 0817571432 www.bddesigns.com.au APN 0225079624</div> <div>Mark Evans 123456789 0817571432 www.bddesigns.com.au APN 0225079624</div>					

ANNEXURE "C"



BUILDING ENVELOPE



Building Designs & Drafting Mark Evans 1058 Building Designs Accred No. 601629 D	ISSUE: P1 DATE: JUNE 2018 DESCRIPTION: FOR PLANNING APPROVAL ONLY	CLIENT: M & J HAMILTON PROJECT: BRONACHEN NEW RESIDENCE	DRAWING TITLE(S): BLOCK SECTIONS	SCALE: N/A (A3) Check dimensions Dimensions take precedence over scale	DRAWING NO: P08 DRAWN BY: ME SHEET NO. 8 of 8
	ISSUE: P2 DATE: JUNE 2018 DESCRIPTION: ADDITIONAL INFORMATION TO P1	CLIENT: M & J HAMILTON PROJECT: BRONACHEN NEW RESIDENCE	DRAWING TITLE(S): BLOCK SECTIONS	SCALE: N/A (A3) Check dimensions Dimensions take precedence over scale	DRAWING NO: P08 DRAWN BY: ME SHEET NO. 8 of 8

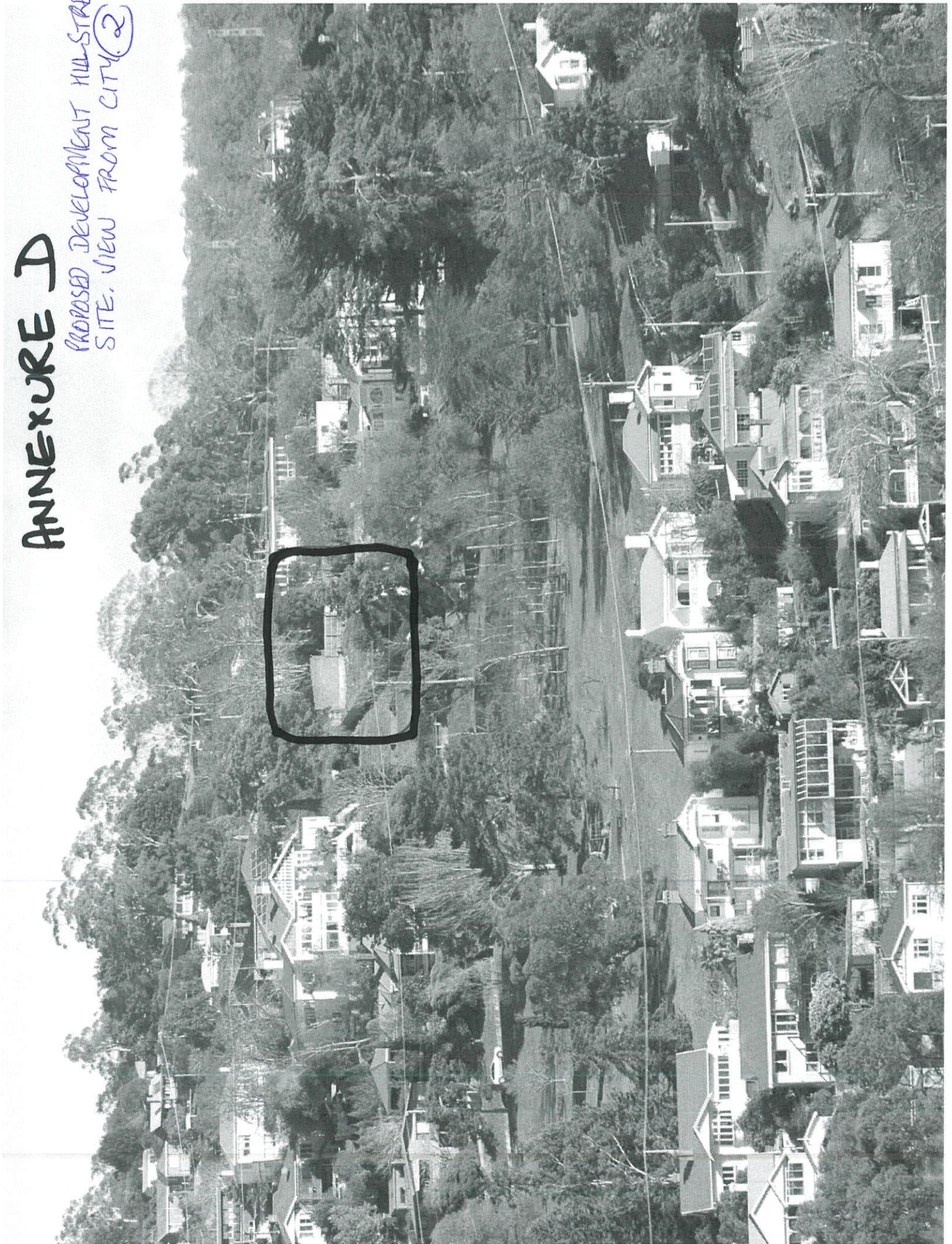
ANNEXURE D

PROPOSED DEVELOPMENT
HILL STREET
SITE VIEW FRANCIS
①



ANNEXURE D

PROPOSED DEVELOPMENT HILL STREET
SITE, VIEW FROM CITY (2)



ANNEXURE E



Elizabeth MacLaine-Cross & Eamonn Tiernan,

Report on Blackwood (*Acacia melanoxylon*) tree adjacent to the proposed development at 40 Hill Street West Launceston.

This report concerns the Blackwood tree situated on the northern side of the property about 7 metres SE of the closest corner of the garage. It is a well established, healthy specimen providing shade, habitat and privacy for the home at [redacted]. It has a height of approximately 15 metres and a DBH (diameter at breast height) of 670mm and an average canopy diameter of 11 metres.

The Protection of Trees on Development Sites Australian Standard AS4970-2009 is the relevant standard used by arborists and professionals in the building industry Australia wide.

Utilising the AS 4970-2009 sections 3.3.3 and 3.3.4 to estimate the Tree Protection Zone (TPZ) and Structural Root Zone of the tree shows a clear risk to this tree from the proposed excavation and building. An incursion into any more than 10% of the root zone is viewed as a major incursion.

The development proposal plans show building to within 1 metre of the boundary at the SW corner closest to the tree and with the tree being 1 metre from the fence line this leaves a distance of 2 metres to the proposed wall.

The most important roots for a tree are usually found within 600mm of ground level and in a region under the extremities of the canopy of the tree (the "drip-line"). The current proposal means that the tree would lose a substantial proportion of these roots.

Well-established trees such as this one rarely cope well with major root losses. Damage or loss of major roots has the potential leave the tree susceptible to fungal invasions and inevitably lessens the ability of the tree to withstand severe wind events. This tree, being situated as it is on the crest of the hill, is exposed to the prevailing winds from the NNW. The proposed building would inevitably involve loss of a major part of the canopy currently growing over the fence to the north. This can only lead to an increased risk of failure to a compromised root plate.

The new drainage regime will result in a loss of water available to the tree by approximately 25%.

I estimate the age of this Blackwood to be approximately 40-50 years old. It provides habitat for birds including the local masked owl. The tree is not in the scenic protection area, however it is in an area of Launceston where the norm is for elegant older style housing with large surrounding gardens.

Pete Goding (Proprietor, Tree-wise Men Tasmania)

From: Lisa Fairbairn Williams
Sent: 13 Jul 2018 15:55:50 +1000
To: Contact Us
Subject: ATTN: General Manager - Objection to DA0317/2018

Attention to the General Manager and Planning Department

OBJECTION - PLANNING APPLICATION 38A HILL STREET (DA0317/2018)

As the residents of we object to the planning application made for 38A Hill Street. We have a number of concerns which are as follows:

The proposed rooftop balcony on top of the 3metre high garage is of particular concern- this is planned to be 1 meter from our fence line and I do not feel the 1.7m screen which will provide any privacy to us unless everyone is less than 150cm tall. It will greatly impact the privacy of our private outdoor living space.

I believe it will also greatly impact on the owners of 40 Hill St and their privacy.

The height of the proposed building is also a concern- No information has been provided on the shadows it may cast and as such it's unclear if it meets the planning scheme and I wish to be advised on this. I am an avid gardener and have young children who enjoy using our large, private sun filled back garden and I do not wish to lose all privacy that is currently afforded to me, nor do I wish for it to be overshadowed for large portions of the day by this new development if it is not within the current Planning Scheme.

The proposed building does not fit within the building envelope and it also not set back the required distance from the back adjoining boundary which will also impact on the opposite adjoin neighbours.

I do not oppose to a development of 38a Hill Street- but as it is a small rear block, of a heritage neighbour hood- I believe it is important for the building to be sympathetic to the amazing heritage value our area has. From the drawings this proposal will be large, modern and imposing- significantly impacting the privacy of all 3 adjoining properties.

It is for this reason that I object the most- the proposed building does not comply with the current Planning Scheme and while I appreciate the owners desire to utilise the land space to the best of their ability, I do not feel it should come at the cost of all 3 adjoining neighbours privacy. All 3 neighbouring groups have renovated our properties in keeping with the homes' heritage character and neighbourhood and have done so within the Planning Scheme and without adversely impacting on our neighbours.

We can be contacted via this email address or alternatively to further discuss.

Kind Regards
Lisa Williams