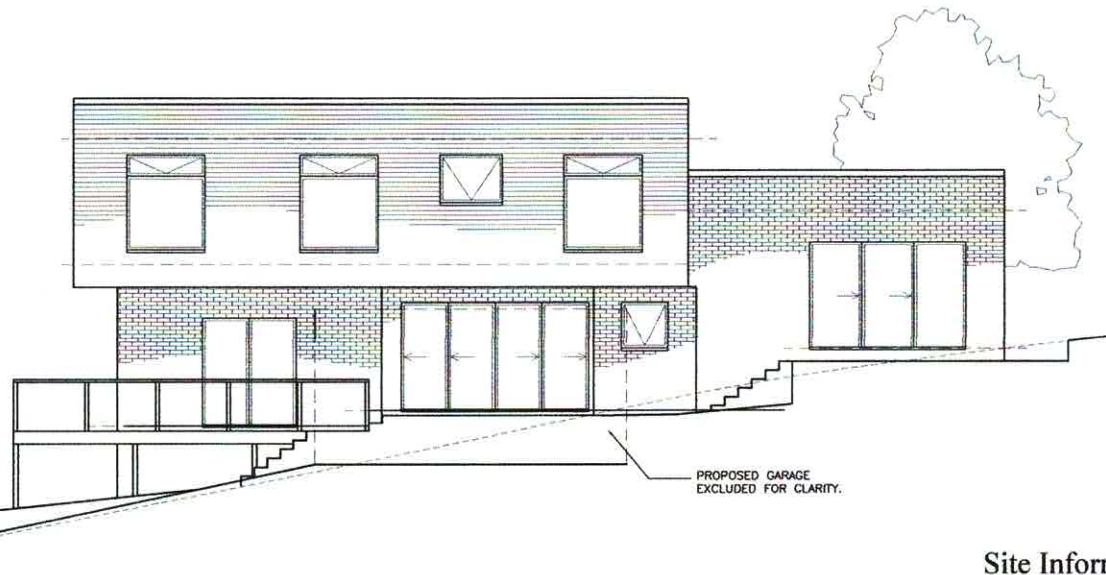


Council Agenda - Agenda Item 8.1

Attachment 3 - Advertised Plans - 38A Hill Street West Launceston

THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL REQUIREMENTS OF LOCAL AUTHORITIES. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE. NO WORK SHOULD COMMENCE UNTIL LOCAL AUTHORITIES HAVE APPROVED THE BUILDING APPLICATION. THE DESIGNER DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION OR INTERPRETATION. ALL WORK SHOULD BE IN CONFORMANCE WITH ANY STRUCTURAL ENGINEERS CERTIFICATES. CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.



PROPOSED GARAGE
EXCLUDED FOR CLARITY.

M & J HAMILTON
PROPOSED NEW RESIDENCE
38a HILL STREET
WEST LAUNCESTON 7250

Job Number: 18HAM1
Issue : **P1— For Planning Approval Only**
Launceston City Council

DRAWING SCHEDULE

- P01 - COVER PAGE
- P02 - SITE PLAN
- P03 - FLOOR PLAN
- P04 - SECTION
- P05 - ELEVATIONS 1
- P06 - ELEVATIONS 2
- P07 - EARTHWORK/ DRAINAGE PLAN
- P08 - BLOCK SECTIONS

Site Information

Land Title Reference:	171231/2	Certificate folio and volume
Property ID:	3437785	
Wind Classification:	TBA	Attached Site Classification to AS 4055-2006
Soil Classification:	TBA	Attached Site Classification to AS 2870-2011
Climate Zone:	7	www.abcb.gov.au map
BAL Level	N/A	Proposed dwelling constructed in an existing built up residential area. The surrounding 100m is a combination of existing residences, non-vegetated areas including roads, footpaths and buildings and low threat vegetation including managed grassland and maintained lawns. (See Sheet A02)
Alpine Area:	N/A	BCA Fig. 3.7.5.2
Corrosion Environment:	N/A	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to BCA section 3.4.2.2 & BCA Table 3.4.4.2. Cladding and fixings to manufacturer's specifications.
Other Hazards:	N/A	High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors
Total Enclosed Floor Area:	193.3 sq. m	

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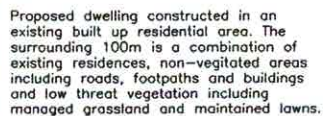
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DRAWN BY: ME
SHEET NO. :1 of 8


Building Designs & Drafting


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ISSUE:	DATE:	DESCRIPTION:
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LEGEND & NOTES:

 EXISTING LEVELS

 NEW LEVELS

COUNTOUT INTERVALS = 1.0 m

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

PROTECTION MUST BE PROVIDED TO ADJOINING PROPERTIES IN ACCORDANCE WITH BUILDING REGULATIONS.

SITEWORKS SOIL & WATER MANAGEMENT STRATEGIES

SITE TO BE PREPARED IAW ENGINEERS OR SURVEYORS REPORT IF APPLICABLE.

SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS IAW BCA PART 3.1 AND AS2870.

SURFACE DRAINAGE - FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000 AT 1:20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.

DOWNPIPES TO BE CONNECTED INTO COUNCIL STORMWATER AS SOON AS ROOF IS INSTALLED.

DRAINAGE WORKS TO BE IAW BCA PART 3.1 AND AS/NZS 3500.3.2

INSTALL ANY AG DRAINS PRIOR TO FOOTING EXCAVATION. SEE DRAINAGE PLAN FOR LOCATION.

EXCAVATED MATERIAL, PLACED UP-SLOPE OF AG DRAINS, TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETED AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.

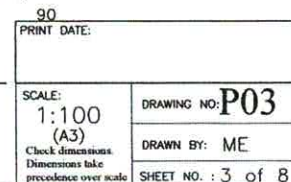
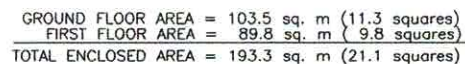
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CLIENT: M & J HAMILTON
PROJECT: PROPOSED NEW RESIDENCE
38a HILL STREET
WEST LAUNCESTON 7250

DRAWING TITLE(S):
SITE/ SERVICES PLAN



NOTES:
 -KITCHEN LAYOUT IS INDICATIVE ONLY AND SHOULD BE CONFIRMED WITH OWNERS AND RELEVANT CONTRACTORS.
 -ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ACCOUNT FOR WALL LININGS.

240V HARD-WIRED SMOKE
DETECTORS ALL INTER-CONNECTED

ANTICON R1.3 FOIL FACED INSULATION BLANKET.
 5 deg. TRUSSES FITTED AND BRACED AT 900crs TO MANUFACTURERS SPECIFICATIONS
 R4.0 (MIN) CEILING INSULATION BATTS THROUGHOUT WITH SISALATION FOIL DIRECTLY OVER BATT(AT CEILING LEVEL)
 70x35 MGP12 ROOF BATTENS AT 900 CRS. MAX.
 COLORBOND CUSTOM ORB ROOFING.
 FOLDED C/B PARAPET FLASHING

SELECTED PLASTER CORNICES.
 ROUNDO 120 FURRING CHANNELS AT 450crs.
 10mm PLASTERBOARD WALL AND CEILING VILLAGOARD TO WET AREAS

BEDROOM 3

FLOOR TRUSSES FITTED AND BRACED AT 900crs TO MANUFACTURERS SPECIFICATIONS

SELECTED SKIRTINGS

R2.5 INSULATION BATTS TO EXTERNAL WALLS. EXTERNAL WALLS WITH BUILDING WRAP TO GIVE MIN R2.8.
 90x35 F17 HWD. OR MGP10 WALL FRAMING STUDS AT 450 CRS. NOGGINGS 1200 CRS.

DINING

KITCHEN

SELECTED SUB-FLOOR INSULATION TO ACHIEVE R2.0 MIN.- 'THERMAFOIL' OR SIMILAR.

SECTION AA

CONCRETE FOOTING, PAD, PIER AND SUB-FLOOR DETAILS TO ENGINEERS SPECIFICATIONS.

DO NOT SCALE DRAWINGS-IF ANY DOUBT CONTACT DESIGNER.

ALL DIMENSIONS IN MILLIMETRES UNLESS SPECIFIED

CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK.

ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.

ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE (BCA) AND AUSTRALIAN STANDARDS.

ENGINEER'S SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.

ALL BUILDING MATERIALS USED NEED TO MEET RELEVANT CORROSION RESISTANT REQUIREMENTS FOR THE LOCAL ENVIRONMENT AND COMPATIBILITY OF MATERIALS.

ALL PLUMBING AND DRAINAGE TO COMPLY AS3500 AND LOCAL COUNCIL PLUMBING REQUIREMENTS.

BUILDING SEALING
 GENERALLY TO NCC PART 3.12.3

ENSURE ALL ROOF LIGHTS, WINDOWS & DOORS SERVICING HABITABLE ROOMS ARE WEATHER STRIPPED AND SEALED TO NCC REQUIREMENTS.

MECHANICAL VENTILATION IS TO BE PROVIDED AND INSTALLED IAW THE NCC AND MUST BE EXHAUSTED BY WAY OF DUCTS TO THE EXTERIOR OF THE BUILDING IF IT IS THE ONLY SOURCE OF VENTILATION PROVIDED.

6 STAR PROVISIONS ALLOW UP TO 1% OF THE CEILING INSULATION AREA TO BE LOST TO PENETRATIONS SUCH AS CEILING FANS AND RECESSED DOWNLIGHTS. IF THIS IS EXCEEDED, THE REMAINDER OF THE INSULATION MUST BE INCREASED BY 25% AND UPWARDS DEPENDING ON ACTUAL PERCENTAGE OF PENETRATIONS.

ROOF LIGHTS TO HABITABLE ROOMS TO BE FITTED WITH OPERABLE OR PERMANENT SEAL TO MINIMISE AIR LEAKAGE.

EXHAUST FANS TO HABITABLE ROOMS/ CONDITIONED SPACES TO BE FITTED WITH SELF CLOSING DAMPER OR FILTER.

CONSTRUCTION JOINTS AND JUNCTIONS OF ADJOINING SURFACES TO BE TIGHT FITTING AND SEALED BY CAULKING, SKIRTING, ARCHITRAVES AND CORNICES AS PER BCA 3.12.3.5

CHIMNEYS OR FLUES TO BE FITTED WITH SEALING DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL OPENING.

BUILDING FABRIC- BCA PART 3.12.1

BUILDING FABRIC INSULATION TO BE FITTED TO FORM A CONTINUOUS BARRIER TO ROOF/CEILING WALLS AND FLOORS EXCEPT AROUND SERVICES/FITTINGS (SEE ABOVE-BUILDING SEALING). INSULATION MUST ABUT OR OVERLAP ADJOINING INSULATION OR COLUMNS, STUDS, NOGGINGS (ETC). INSULATION MUST RETAIN ITS POSITION AND THICKNESS WHERE IT CROSSES ROOF BATTENS, WATER PIPES, CABLES ETC.

REFLECTIVE BUILDING MEMBRANE WITH MIN. 0.2 R VALUE, INSTALLED TO FORM 20mm AIRSPACE BETWEEN REFLECTIVE FACE AND EXTERNAL LINING/ CLADDING, FITTED CLOSELY UP TO PENETRATIONS/ OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED MIN. 150mm OR TAPED TOGETHER AT LAPS.

ANY SARKING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.

ENERGY EFFICIENCY
 GENERALLY IAW NCC Vol. 3.12.

REFER TO ATTACHED ENERGY EFFICIENCY STAR RATING DOCUMENTATION.

CLIMATE ZONE 7 APPLICABLE TO TASMANIA (ZONE 8 APPLICABLE TO ALPINE AREAS).

FACILITIES

THE DOOR OF A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN AND THE NEAREST PART OF THE DOORWAY.

PROVISION OF NATURAL LIGHT TO BE IAW 3.8.4.2.

WINDOWS/ROOFLIGHTS TO PROVIDE LIGHT TRANSMISSION AREA EQUAL TO 10% OF FLOOR AREA OF ROOM.

VENTILATION TO BE IAW BCA 3.8.5 OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FAN FOR BATHROOM/ WC TO BE VENTED TO OUTSIDE FOR STEEL ROOF AND TO ROOF SPACE FOR TILE ROOF.

NATURAL VENTILATION TO BE PROVIDED AT A RATE OF 5% OF ROOM FLOOR AREA IAW BCA 3.8.5.2

ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC), COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.

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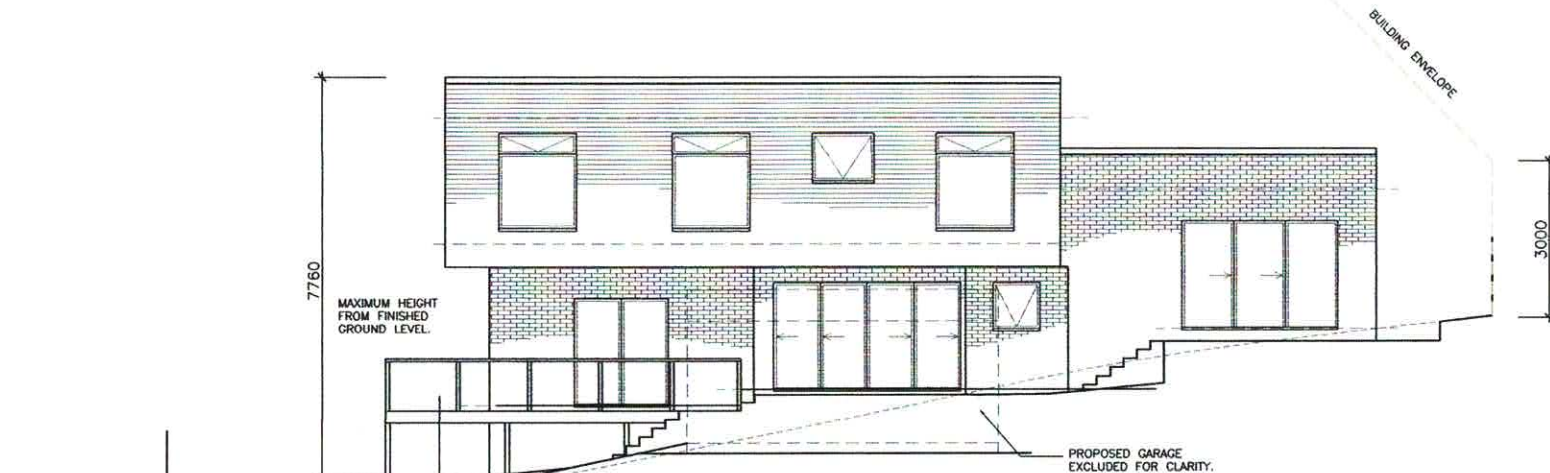
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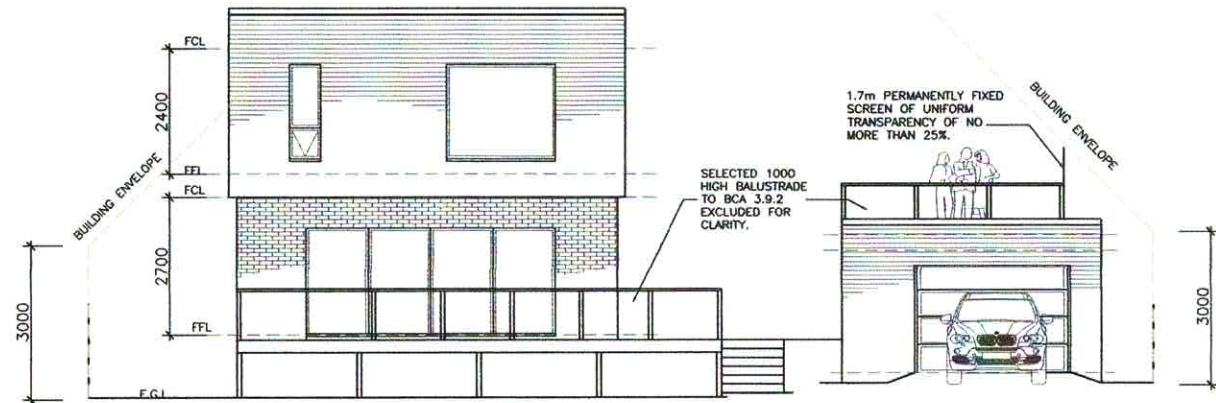
CLIENT: M & J HAMILTON
 PROJECT: PROPOSED NEW RESIDENCE
 38a HILL STREET
 WEST LAUNCESTON 7250

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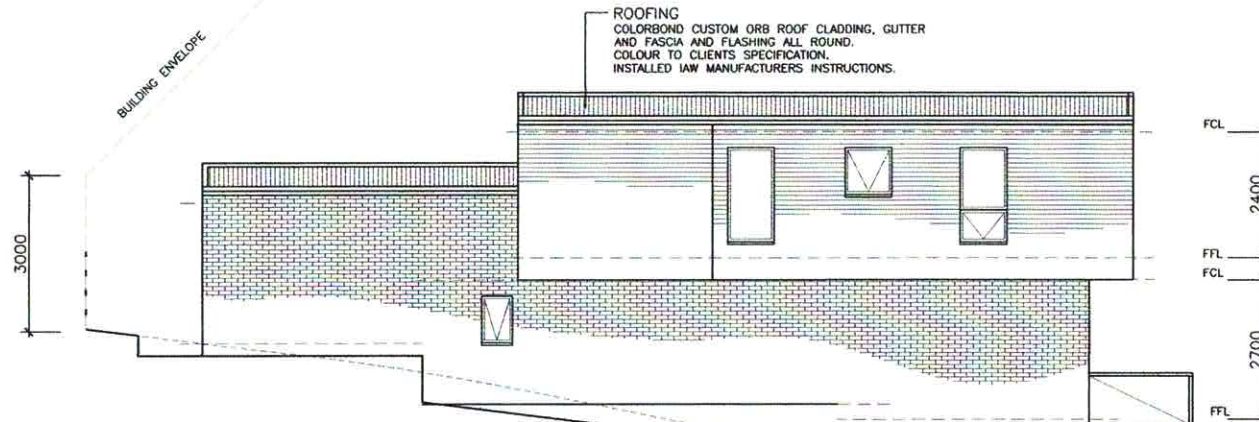
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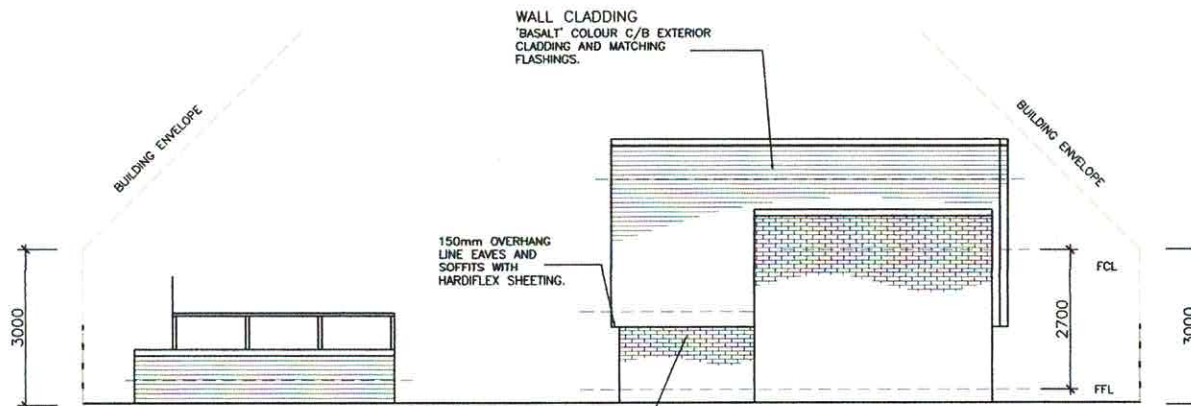
NORTH WESTERN ELEVATION



NORTH EASTERN ELEVATION



SOUTH EASTERN ELEVATION



SOUTH WESTERN ELEVATION

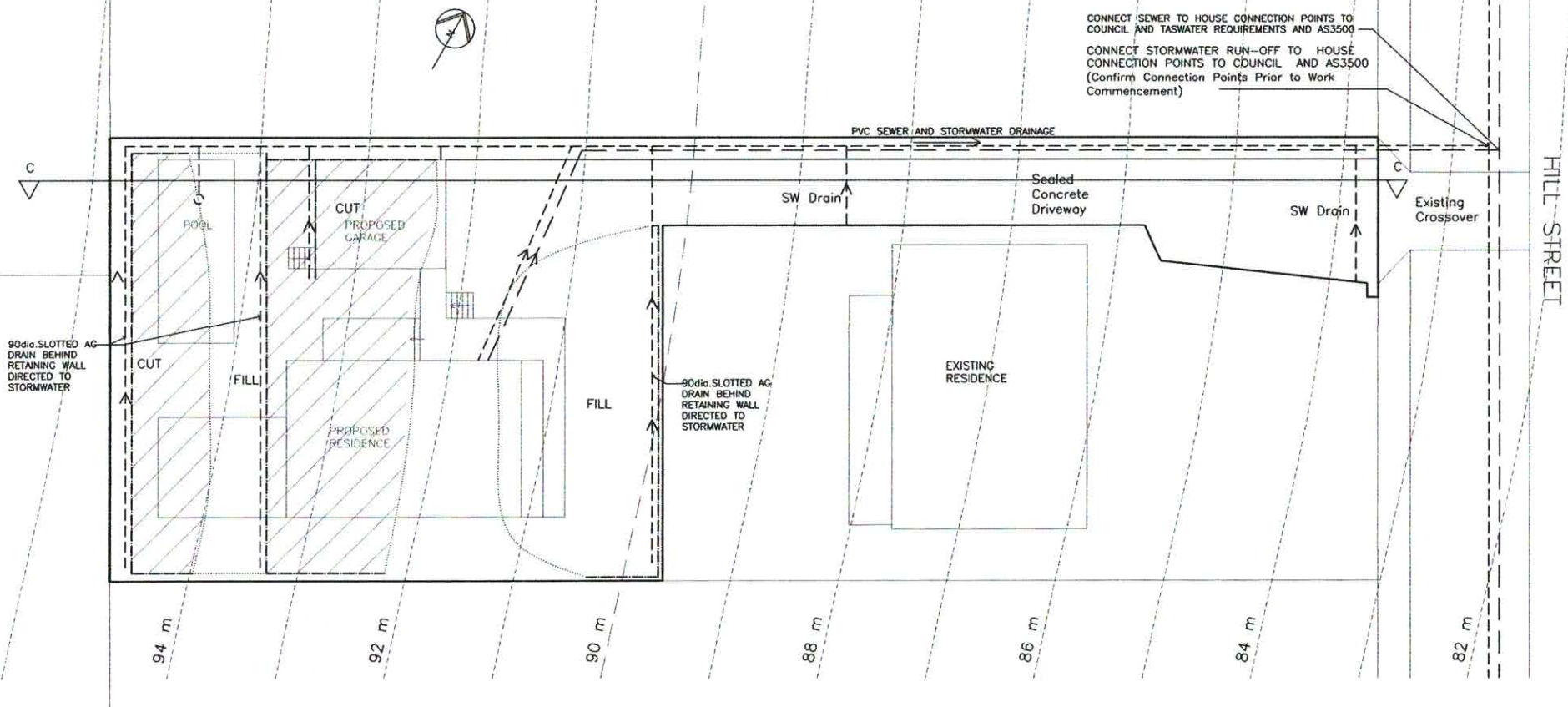
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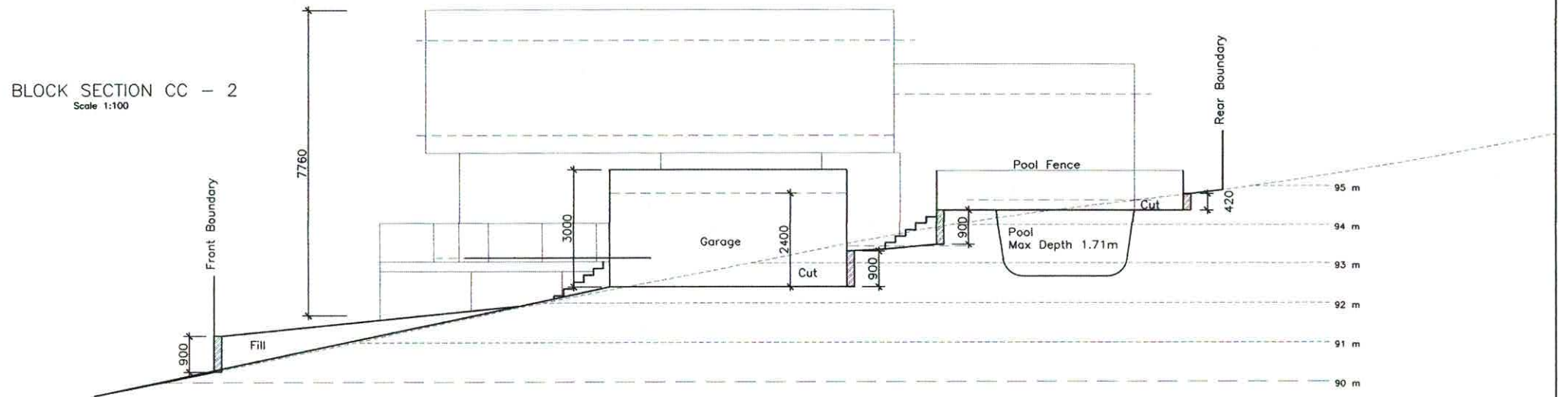
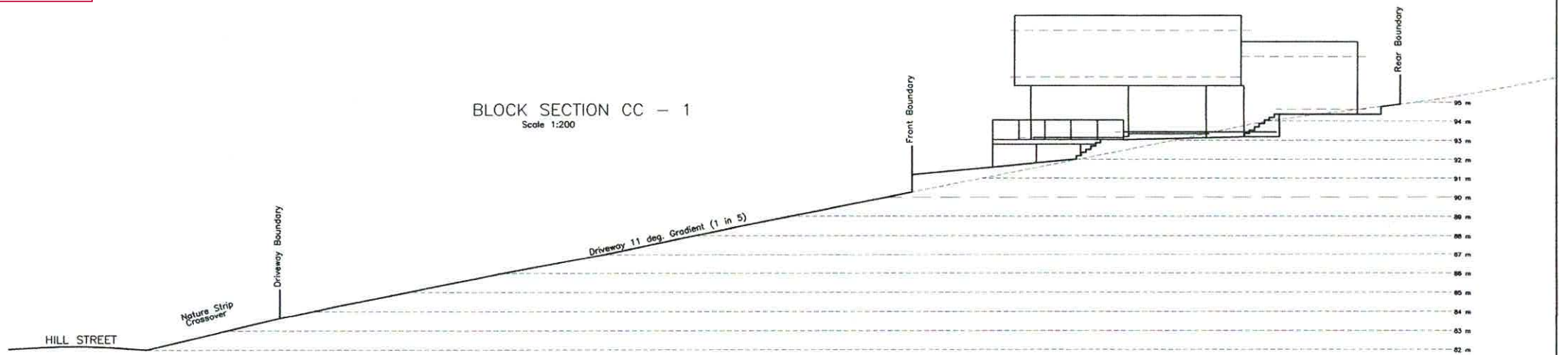


ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES REQUIREMENTS. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND MUST BE CARRIED OUT BY A LICENCED PLUMBER.

DOWNPIPES - 90 dia.
 STORMWATER - 100 dia PVC AT 1:100 GRADIENT MIN.
 SEWER - 100 dia PVC AT 1:60 GRADIENT MIN.

----- SEWERAGE
 ----- STORMWATER

----- 190 BLOCK RETAINING WALLS
 (To Engineers Specifications)



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